



**CITY OF NEW BRAUNFELS, TEXAS
CITY COUNCIL MEETING**



**CITY HALL - COUNCIL CHAMBERS
550 LANDA STREET**

MONDAY, AUGUST 11, 2025 at 6:00 PM

Neal Linnartz, Mayor	Lawrence Spradley, Mayor Pro Tem (District 4)
Toni L. Carter, Councilmember (District 1)	Mary Ann Labowski, Councilmember (District 5)
Michael Capizzi, Councilmember (District 2)	April Ryan, Councilmember (District 6)
D. Lee Edwards, Councilmember (District 3)	Robert Camareno, City Manager

OUR MISSION

The City of New Braunfels serves the community by planning for the future, responding to community needs, and preserving our natural beauty and unique heritage.

AGENDA

CALL TO ORDER

CALL OF ROLL: CITY SECRETARY

REQUEST ALL PHONES AND OTHER DEVICES BE TURNED OFF, EXCEPT EMERGENCY ON-CALL PERSONNEL.

INVOCATION: COUNCILMEMBER CAPIZZI

PLEDGE OF ALLEGIANCE & SALUTE TO THE TEXAS FLAG

CITIZENS COMMUNICATIONS

This time is for citizens to address the City Council on issues and items of concerns not on this agenda. There will be no City Council action at this time. In the interest of protecting the City's network and data, the City is not accepting flash drives or electronic files for use during Citizens Communications. Please use hard copies, the overhead projector or access the City's online digital form to upload electronic files you would like the Mayor and Council to view. The digital form would need to be uploaded two (2) hours prior to the City Council meeting. A link to this form can be accessed on the City Secretary's website. Individuals desiring to speak at citizen's communications should line up behind the podium and be ready to speak.

PROCLAMATIONS:

A) National Emergency Management Awareness Month [25-980](#)

1. CONSENT AGENDA

All items listed below are considered to be routine and non-controversial by the City Council and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the consent agenda and considered as part of the normal order of business. Citizens must be present to pull an item.

Action Items

- A) Approval of the July 28th regular city council meeting. [25-953](#)
Gayle Wilkinson, City Secretary
- B) Approval of a recommendation by the Tax Increment Reinvestment Zone #3 Board awarding a Business Improvement and Preservation Grant to the New Braunfels Elks Lodge #2279 in an amount up to \$11,225. [25-947](#)
Jeff Jewell, Economic and Community Development Director
- C) Approval of a contract modification between the City of New Braunfels and Emergency Services District No. 7. [25-968](#)
Jared Werner, Assistant City Manager
- D) Approval of the New Braunfels National Airport Development and Design Standards Manual. [25-683](#)
Scott McClelland, Assistant Transportation and Capital Improvements Director

Ordinances

(In accordance with Section 3.10 of the City Charter, a descriptive caption of each ordinance shall be read on two separate days.)

- E) Approval of the first reading of an ordinance establishing the number of positions in each classification in the New Braunfels Police Department pursuant to Local Government Code, Chapter 143. [25-935](#)
Becca Miears, Director of Human Resources
- F) Approval of the second and final reading of an ordinance to rezone approximately 0.3 acres out of Kuehler Addition Subdivision, New City Block 1055, Lot 9 from C-3 (Commercial District) to C-3 SUP (Commercial District with a Special Use Permit to allow Short Term Rental of a Residence), currently addressed as 1070 Sanger Avenue. [25-939](#)
Matthew Simmont, AICP Planning Manager
- G) Approval of the second and final reading of an ordinance to create Section 126-154 of the Code of Ordinances of the City of New Braunfels to set the speed limit on W [25-949](#)

Klein Road.

Carly Farmer, Assistant City Engineer

- H) Approval of the second and final reading of an ordinance [25-950](#) to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on Kentucky Boulevard and Canyon Drive.

Carly Farmer, Assistant City Engineer

- I) Approval of the second and final reading of an ordinance, of the City Council of the City of New Braunfels, Texas, accepting and approving an Annual Service Plan Update to the Service and Assessment Plan and updated Assessment Roll for the Solms Landing Public Improvement District; making and adopting findings; providing a cumulative repealer clause; and providing an effective date.

Sandy Paulos, Director of Finance

2. INDIVIDUAL ITEMS FOR CONSIDERATION

Individuals desiring to speak to any individual item should line up behind the podium and be ready to speak when public comment is recognized.

- A) Discuss and consider the approval of a resolution [25-912](#) recommended by the New Braunfels Economic Development Corporation approving a project expenditure, of up to \$240,000, to fund the Dry Comal Creek Floodplain Remapping Project, pursuant to Section 505.152 of the Texas Local Government Code

Garry Ford, Director of Transportation and Capital Improvements

Jordan Matney, Deputy City Manager

- B) Discuss and consider the second reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on both sides of Arroyo Verde from Goodwin Lane to Arroyo del Sol.

Carly Farmer, Assistant City Engineer

- C) Discuss and consider the second reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on the northeast side of Old FM 306 from Hunter Road to Common Street.

Carly Farmer, Assistant City Engineer

- D) Discussion and possible action approving a resolution [25-927](#) recommended by the New Braunfels Economic Development Corporation approving a project expenditure, of up to \$3,800,000, to Alamo Colleges District - Northeast Lakeview College for a primary job training facility and career center, pursuant to Sections 501.101 and 501.105 of the Texas Local Government Code.

Jeff Jewell, Economic and Community Development Director

Jonathan Packer, President & CEO, New Braunfels Chamber of Commerce

- E) Discuss and consider the appointment of three [25-821](#) Councilmembers to an Ad Hoc Committee concerning the Boards and Commissions.

Gayle Wilkinson, City Secretary

3. EXECUTIVE SESSION

In accordance with the Open Meetings Act, Texas Government Code, Ch. 551.071, the City Council may convene in a closed session to discuss any of the items listed on this agenda. Any final action or vote on any executive session item will be taken in open session.

- A) Deliberate issues regarding economic development [25-1006](#) negotiations in accordance with Section 551.087 of the Texas Government Code:

1. Project Nemo

4. IF NECESSARY, RECONVENE INTO OPEN SESSION AND TAKE ANY ACTION RELATING TO THE EXECUTIVE SESSION AS DESCRIBED ABOVE.

ADJOURNMENT

CERTIFICATION

I hereby certify the above Notice of Meeting was posted on the bulletin board at the New Braunfels City Hall.

Gayle Wilkinson, City Secretary

NOTE: Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, or large print, are requested to contact the City Secretary's Office at (830) 221-4010 at least two (2) work days prior to the meeting so that appropriate arrangements can be made.



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

8/11/2025

Agenda Item No. A)



Proclamation

THE STATE OF TEXAS §
COUNTY OF COMAL §
CITY OF NEW BRAUNFELS §

WHEREAS, the safety and resilience of the City of New Braunfels are of paramount importance to the well-being of its residents and visitors; and

WHEREAS, emergency management professionals serve as steadfast protectors and planners in the face of natural disasters, public health crises, and unforeseen emergencies, working tirelessly to safeguard lives and restore stability; and

WHEREAS, the month of August has been designated as the inaugural **National Emergency Management Awareness Month**, providing an opportunity to educate the public, celebrate the dedicated work of emergency responders and coordinators, and promote community readiness and resilience; and

WHEREAS, the City of New Braunfels proudly acknowledges the unwavering commitment of local, regional, and national emergency management personnel, including our own first responders, public safety officials, volunteers, and support organizations, whose efforts exemplify courage and service; and

WHEREAS, increasing public awareness and encouraging personal and community-level emergency preparedness will help to ensure a safer future for all.

NOW THEREFORE, be it resolved, that I, Neal Linnartz, Mayor of the City of New Braunfels, Texas, do hereby proclaim the Month of August 2025 as:

"National Emergency Management Awareness Month"

in New Braunfels, and encourage all residents, businesses, and organizations to recognize the vital importance of emergency preparedness and to honor those who protect it.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of New Braunfels to be affixed this the 11th day of August 2025.

CITY OF NEW BRAUNFELS

NEAL LINNARTZ, Mayor



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

8/11/2025

Agenda Item No. A)

PRESENTER:

Gayle Wilkinson, City Secretary

SUBJECT:

Approval of the July 28th regular city council meeting.

**DRAFT - MINUTES
OF THE NEW BRAUNFELS CITY COUNCIL
REGULAR MEETING OF MONDAY, JULY 28, 2025**

OUR MISSION

*The City of New Braunfels serves the community by planning for the future,
responding to community needs, and preserving our natural beauty and
unique heritage.*

AGENDA

CALL TO ORDER

Mayor Linnartz called the meeting to order at 6:00 p.m.

CALL OF ROLL: CITY SECRETARY

Present: 7 - Mayor Neal Linnartz, Councilmember Toni Carter, Councilmember Michael Capizzi, Councilmember D. Lee Edwards, Mayor Pro Tem Lawrence Spradley, Councilmember Mary Ann Labowski, and Councilmember April Ryan

REQUEST ALL PHONES AND OTHER DEVICES BE TURNED OFF, EXCEPT EMERGENCY ON-CALL PERSONNEL.

INVOCATION: COUNCILMEMBER CARTER

Councilmember Carter provided the invocation.

PLEDGE OF ALLEGIANCE & SALUTE TO THE TEXAS FLAG

Mayor Linnartz led the Pledge of Allegiance and the Salute to the Texas Flag.

CITIZENS COMMUNICATIONS

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The following individuals spoke at this time: Marty Hills, Mike Murphy, Bob King, and James Holster

1. **CONSENT AGENDA**

All items listed below are considered to be routine and non-controversial by the City Council and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the consent agenda and considered as part of the normal order of business. Citizens must be present to pull an item.

Action Items

- A) Approval of the July 14, 2025 executive and regular city council meeting minutes and the July 21, 2025 special city council meeting minutes.
- B) Approval of the appointments of Dr. Christopher Dayley, and Christy Rohlf to the Regional Workforce Education Alliance for two (2) At Large seats with unexpired terms ending May 31, 2027.
- C) Approval of a recommendation by the Tax Increment Reinvestment Zone #3 Board awarding Business Improvement and Preservation Grants to Altar Space Crystals in an amount up to \$1,739.25 and to the New Braunfels Elks Lodge #2279 in an amount up to \$11,225.
- D) Approval of a ground lease agreement between the City of New Braunfels and Natural Bridge Caverns, Inc. for a billboard sign located at 2932 Interstate 35 South.
- E) Approval of a three-year software maintenance agreement for Cityworks PLL software through Azteca Systems, LLC, a Trimble Company.
- F) Approval of an additional project contingency for the Landa Park Aquatic Complex bathhouse renovation project and authorization for the City Manager to execute any change orders and project expenditures up to the contingency amount.
- G) Approval of a contract with PGAL for the New Braunfels National Airport Terminal Feasibility and Planning Study.
- H) Approval of the submission of the Community Development Block Grant 2025-2029 Consolidated Plan, Fair Housing Plan, and Annual Action Plan, including funding recommendations for Program Year 2025 to the U.S. Department of Housing and Urban Development.

Resolutions

- I) Approval of a resolution authorizing the submission of an application to the Texas Parks & Wildlife Department for the Local Park Grant Program for improvements to Neighborhood Park on West Coll Street.
- J) Approval of a resolution recommended by the New Braunfels Economic Development Corporation approving a Third Amendment to the Contract between the New Braunfels Economic Development Corporation and HD Supply Facilities Maintenance, Ltd., to modify the percentage of sales taxes rebated and extend the existing contract term, pursuant to Section 501.101 of the Texas Local Government Code.
- K) Approval of a resolution amending the Chapter 380 Economic Development Agreement between the City of New Braunfels, TX and HD Supply Facilities Maintenance, Ltd.

Ordinances

(In accordance with Section 3.10 of the City Charter, a descriptive caption of each ordinance shall be read on two separate days.)

- L) Approval of the first reading of an ordinance, of the City Council of the City of New Braunfels, Texas, accepting and approving an Annual Service Plan Update to the Service and Assessment Plan and updated Assessment Roll for the Solms Landing Public Improvement District; making and adopting findings; providing a cumulative repealer clause; and providing an effective date.

Approval of the Consent Agenda

Mayor Linnartz read the aforementioned consent agenda with the exception of item C 25-829 which was pulled by staff.

Mayor Pro Tem Spradley moved to accept the consent agenda with the exception of item C 25-829. Councilmember Labowski seconded the motion which passed unanimously.

2. INDIVIDUAL ITEMS FOR CONSIDERATION

Individuals desiring to speak to any individual item should line up behind the podium and be ready to speak when public comment is recognized.

- A) Public hearing and first reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to

restrict parking on the northeast side of Old FM 306 from Hunter Road to Common Street.

Mayor Linnartz read the aforementioned item.

Carly Farmer presented this item providing a PowerPoint and addressed questions.

The following individuals spoke at this time: Ronald Savage, and Karen Wiggington

Councilmember Ryan moved to approve this item. Councilmember Carter seconded the motion which passed 5/2.

Opposed:

Councilmember Capizzi, and Councilmember Edwards

B) Public hearing and first reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on both sides of Arroyo Verde from Goodwin Lane to Arroyo del Sol.

Mayor Linnartz read the aforementioned item.

Carly Farmer presented this item providing a PowerPoint and addressed questions.

The following individuals spoke at this time: Ronald Savage, Barry Davidson, and Juan Materne

Councilmember Ryan moved to approve this item. Councilmember Capizzi seconded the motion which passed 6/1.

Opposed:

Councilmember Labowski

C) Public hearing and first reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on Kentucky Boulevard and Canyon Drive.

Mayor Linnartz read the aforementioned item.

Carly Farmer presented this item providing a PowerPoint and addressed questions.

The following individuals spoke at this time: Ronald Savage

Councilmember Edwards moved to approve this item. Councilmember Ryan seconded the motion which passed unanimously.

D) Discuss and consider the first reading of an ordinance to create Section 126-154 of the Code of Ordinances of the City of New Braunfels to set the speed limit on W Klein Road.

Mayor Linnartz read the aforementioned item.

Carly Farmer presented this item providing a PowerPoint and addressed questions.

The following individuals spoke at this time: Larry Lane

Councilmember Ryan moved to approve this item. Councilmember Labowski seconded the motion which passed unanimously.

E) Discuss and consider approval of the Neighborhood Traffic Calming Policy to replace the current Speed Hump Policy.

Mayor Linnartz read the aforementioned item.

Carly Farmer presented this item providing a PowerPoint and addressed questions.

The following individuals spoke at this time: Larry Lane

Mayor Pro Tem Spradley moved to approve this item. Councilmember Labowski seconded the motion which passed unanimously.

F) Public hearing and first reading of an ordinance regarding the proposed rezoning of 0.25 acres out of the Mission Oaks Unit 5 Subdivision, Block 14, Lot 11, from R-3 (Multifamily District) to R-3 SUP (Multifamily District with a Special Use Permit for Short Term Rental), currently addressed at 13 & 15 Moss Rock Drive.

Mayor Linnartz read the aforementioned item.

Matthew Simmont presented the item providing a PowerPoint and addressed questions.

Mayor Pro Tem moved to deny this item. Councilmember Labowski seconded the motion which passed unanimously to deny.

- G) Public hearing and first reading of an ordinance to rezone approximately 0.3 acres out of Kuehler Addition Subdivision, New City Block 1055, Lot 9 from C-3 (Commercial District) to C-3 SUP (Commercial District with a Special Use Permit to allow Short Term Rental of a Residence), currently addressed as 1070 Sanger Avenue.

Mayor Linnartz read the aforementioned item.

Matthew Simmont presented this item providing a PowerPoint and addressed questions. The applicants representative, Sarah Griffin, addressed additional questions from council.

Councilmember Ryan moved to approve this item with recommended conditions. Councilmember Labowski seconded the motion which passed unanimously.

- H) Public hearing, discussion, and possible action on a resolution reauthorizing the City of New Braunfels Tax Abatement Policy.

Mayor Linnartz read the aforementioned item.

Jeff Jewell presented this item providing a PowerPoint and addressed question.

Councilmember Capizzi motioned to approve the item. Councilmember Labowski seconded the motion which passed unanimously.

3. EXECUTIVE SESSION

In accordance with the Open Meetings Act, Texas Government Code, Ch. 551.071, the City Council may convene in a closed session to discuss any of the items listed on this agenda. Any final action or vote on any executive session item will be taken in open session.

4. IF NECESSARY, RECONVENE INTO OPEN SESSION AND TAKE ANY ACTION RELATING TO THE EXECUTIVE SESSION AS DESCRIBED ABOVE.

There were no executive session items.

No action was taken at this time.

ADJOURNMENT

Mayor Linnartz adjourned the meeting at 7:35 p.m.

By: _____
NEAL LINNARTZ, MAYOR

Attest:

GAYLE WILKINSON, CITY SECRETARY

8/11/2025

Agenda Item No. B)

PRESENTER:

Jeff Jewell, Economic and Community Development Director

SUBJECT:

Approval of a recommendation by the Tax Increment Reinvestment Zone #3 Board awarding a Business Improvement and Preservation Grant to the New Braunfels Elks Lodge #2279 in an amount up to \$11,225.

DEPARTMENT: Economic and Community Development**COUNCIL DISTRICTS IMPACTED:** 5**BACKGROUND INFORMATION:**

The Tax Increment Reinvestment Zone #3 Board (TIRZ 3 Board) offers Business Improvement and Preservation Grants to business and property owners interested in improving buildings downtown. Eligible projects include façade and exterior improvements, residential and commercial conversions, improvements to public infrastructure and streetscapes, and health, life, and safety updates. This grant program was approved by City Council with Resolution 2023-R59 on October 23, 2023.

The New Braunfels Elks Lodge #2279 submitted a grant application to the TIRZ 3 Board on February 18, 2025 with five total projects - all totaling \$225,856.95 - to address health and safety updates and façade and exterior improvements. The TIRZ 3 Board reviewed the application at its March 31, 2025 meeting and voted to approve funding for two of the five projects. The first, in an amount of \$5,068.75 to assist with the design and spec for a fire sprinkler system and a fire alarm flow test. The second, in an amount of \$2,875 to assist with the installation of a fire alarm system.

The TIRZ 3 Board addressed the additional three project grant requests at its June 25, 2025 meeting and unanimously approved a grant of \$11,225 (25% of total) to assist with the installation of an underground fire line.

The grant will be awarded on a reimbursement basis after all the work for the improvements have been completed. The applicant will be required to submit all receipts and paid invoices for the work to be awarded the grant.

ISSUE:

Per the guidelines of the Business Improvement and Preservation Grants program, the City Council must approve all grant recommendations from the TIRZ 3 Board.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

TIRZ 3 has sufficient fund balance to support the issuance of this \$11,225 grant.

RECOMMENDATION:

Staff recommends approval of the grant to the New Braunfels Elks Lodge #2279

TIRZ 3 Grant Application

Applicant Information

Applicant Name

New Braunfelsw Elks Lodge 2279

Project Name

Fire Suppression System

Address of Project

353 South Seguin Ave, New Braunfels, TX

Mailing Address (If different from Project Address)

Contact Phone

(936) 334-6422

Email Address

scmuncaster@hotmail.com

Applicant Type

~~Landowner~~ Applicant is the Owner

Term of Lease

N/A

Expiration Date

~~02-18-2025~~ Disregard, form error

Are you the owner?

yes

Owner Name

New Braunfels Elks Lodge #2279

Owner Mailing Address

353 South Seguin Ave, New Braunfels, TX

Owner Contact Phone

(830) 625-5217

Owner Email Address

Secretary@newbraunfelsselkslodge2279

Size of Project

This is a stand-alone project

Please verify your business is located in the blue area on the map linked here: <https://newbraunfels.gov/ImageRepository/Document?documentID=32658>

Yes

Grant Category

Project Category

Health and Safety Updates

Other category

Facade/Exterior Improvements & Preservation

Funding and Timeline Info

Funding Request

Greater than \$25,000

Estimated Project Cost

\$250,000.00

Project Start Date

04-15-2025

Estimated Completion Date

09-22-2025

Narratives

Project Summary - Please provide a brief summary outlining the scope of work to be performed for this project.

Install a fire suppression system as required by the City of New Braunfels Fire Marshal. Scope of work: 1.) Engineering and design specifications 2.) Water supply from Seguin Avenue 3.) Riser room construction 4.) Reinforce attic flooring 5.) Install sprinkler system equipment 6.) Test and certify system. Estimated cost \$240,906.

Please provide a brief narrative summary identifying how this project will benefit Downtown New Braunfels. Please consider utilizing the [Downtown Implementation Plan](#), [Downtown Action Plan](#), and the [Downtown TIRZ Project Plan](#) to guide your writing. (Please open links in a new tab)

Narrative Benefit

This project will provide for the health and safety of Lodge members and guests. In addition it will help to provide protection for our historic (circa 1910) building as well as surrounding downtown structures.

Agreements

1. I certify that I am authorized to make this application on behalf of my company/the business that employs me/the owner of my building.
2. I agree to comply with guidelines and procedures of the TIRZ 3 Grant Program and acknowledge that I have reviewed and understand the current policy.
3. I understand that neglecting to provide all requested information required by this application will invalidate my application entirely.
4. I understand that if I am selected as a finalist for a TIRZ 3 Grant, I may be required to present my project, in-person, at an upcoming TIRZ 3 Board Meeting. Advanced notice will be provided with my invitation.
5. I understand that I must submit cost documentation – including evidence of estimated costs as part of the budget and including paid invoices and/or receipts from contractors after the work is completed to comply with the requirements of this program. I further understand that the City of New Braunfels or members of the TIRZ 3 Board may contact contractors and subcontractors to ensure they have been paid.
6. I acknowledge that this application for a TIRZ 3 Grant may be denied, partially approved, or fully approved, and is subject to fund availability.
7. I acknowledge that all documents as outlined in this application are minimum requirements, additional items may be requested, and that incomplete applications will be rejected.
8. I acknowledge that I must receive formal approval BEFORE starting a project. I acknowledge that all approved awards will be provided as a reimbursement after the project is completed and inspected by City Staff or members of the TIRZ 3 Board. If my project is started before this formal approval, my application is forfeited and ineligible for funding.

I Agree

true

8/11/2025

Agenda Item No. C)

PRESENTER:

Jared Werner, Assistant City Manager

SUBJECT:

Approval of a contract modification between the City of New Braunfels and Emergency Services District No. 7.

DEPARTMENT: CMO & New Braunfels Fire Department

COUNCIL DISTRICTS IMPACTED: N/A

BACKGROUND INFORMATION:

During FY 2025, the City Manager's Office, in partnership with the leadership of the New Braunfels Fire Department (NBFD), has been actively engaged in ongoing discussions and with Emergency Services District No. 7 (ESD7) to revise and strengthen the existing services agreement for fire protection and emergency medical services. ESD7 encompasses approximately 80 square miles of territory located outside the City limits but within the NBFD service area. All NBFD stations and response units are dispatched to incidents within ESD7 as needed, and calls from this area currently account for approximately 11% of the department's total annual call volume.

The existing agreement between the City and ESD7 has historically been structured based on a pro-rata share of NBFD's operational expenses, with an understanding of ESD7's limited revenue capacity-up until recently, the district's only source of funding was property tax revenue. However, recognizing the rapid growth and increasing demand for emergency services within its jurisdiction, ESD7 proactively held a successful sales tax election in recent years. The passage of that election has significantly improved the district's financial standing and has enabled it to begin receiving local sales tax revenues in addition to its ad valorem tax base.

This new revenue stream allows ESD7 to expand its level of financial participation in the shared service arrangement. As a result, City and ESD7 leadership have worked collaboratively to revise the methodology used in the services agreement to more accurately and comprehensively reflect the true cost of providing emergency services. This includes not only direct operational costs (such as personnel, fuel, and supplies), but also indirect costs such as administration, and capital use of facilities and apparatus.

The revised agreement, as detailed in the attached contract, ensures that NBFD can continue to deliver high-quality, responsive emergency services to all residents and visitors within ESD7 while protecting the fiscal health of the City. It also serves as a model of regional cooperation and long-term planning, reinforcing both organizations' commitment to public safety.

ISSUE:

N/A

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☒ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

The revised methodology for calculating ESD7's payment for fire and EMS services is expected to result in a significant increase in annual revenue to the City, projected between \$800,000 and \$900,000. This increase is directly tied to the more comprehensive and equitable cost allocation approach outlined in the updated agreement, which now includes indirect costs and a pro-rata share of facility and equipment usage. However, as outlined in the FY 2026 Proposed Budget, this additional revenue will be treated as one-time in nature for budgeting purposes-at least in the near term.

Rather than being used to support ongoing operations immediately, these funds have been earmarked for critical one-time initiatives in FY 2026. This conservative budgeting approach reflects both the City's long-standing fiscal discipline and the need to prepare for future obligations. Specifically, these funds are being strategically reserved to support the phased absorption of twelve firefighter positions that are currently funded through a federal SAFER grant. That grant funding is set to expire by FY 2028, at which point the full cost of those positions-approximately \$1.3 million annually-will become the City's responsibility

RECOMMENDATION:

Staff recommends approval

THE STATE OF TEXAS §
§
COUNTY OF COMAL §

**INTERLOCAL AGREEMENT BETWEEN COMAL COUNTY EMERGENCY
SERVICES DISTRICT NO. 7 AND CITY OF NEW BRAUNFELS, TEXAS FOR
FIRE AND EMERGENCY SERVICES**

THIS AGREEMENT IS ENTERED INTO BY AND BETWEEN COMAL COUNTY EMERGENCY SERVICES DISTRICT NO. 7 (HEREINAFTER REFERRED TO AS THE "DISTRICT") ACTING THROUGH THE DISTRICT'S BOARD OF EMERGENCY SERVICES COMMISSIONERS AND THE CITY OF NEW BRAUNFELS, TEXAS, A TEXAS HOME RULE MUNICIPALITY, (HEREINAFTER REFERRED TO AS THE "SERVICE PROVIDER") ACTING THROUGH THE SERVICE PROVIDER'S GOVERNING BODY.

Whereas, the District's commitment is to provide services to assist in the protection of life and property from fire, hazardous materials incidents, accident, disaster, and other emergencies, and for the conservation of natural resources; and

Whereas, the Service Provider has available personnel and equipment to provide fire protection and suppression services, hazardous materials incidents, emergency rescue services, and emergency medical first responder services.

NOW, THEREFORE, BE IT RESOLVED THAT the parties hereto agree as follows:

1. CONSIDERATION

1.01 In consideration for the monies to be provided to the Service Provider under the terms of this Agreement, the Service Provider will provide the following services, as further set forth herein (collectively referred to below as "Fire and EMS Services") within the District's territorial boundaries, or other specific areas within the District as may be agreed to annually by the Parties on a 24-hour per day, seven-day per week basis:

Fire Protection and Suppression;
Hazardous Materials control;
Emergency Rescue;
Emergency Medical Services; and,
Other emergency assistance to the public at the same level as service within the City of New Braunfels, Texas, as necessary.

1.02 For the consideration set forth herein, the Service Provider shall meet or demonstrate the steps it has taken toward meeting the following guidelines adopted by the District for all services provided within the District:

1. All structure fires within the District will be responded to by the same minimum staffing and response protocols as provided within the City of New Braunfels, and it is understood

and agreed by the parties that the Service Provider will make a good faith effort to consistently maintain a minimum staffing of three certified firefighters on engines;

2. All fire fighters of the Service Provider operating under this Agreement will be certified, at a minimum, as a Basic Fire Fighter by the Texas Commission on Fire Protection;

3. Provide all of the emergency services set forth above on an equal basis with any similar services provided by the Service Provider within the territorial limits of the City of New Braunfels, Texas and to the City of New Braunfels, Texas; and

4. Strictly comply with all requirements of this Agreement.

2. TERMS

2.01 The term of this Agreement shall be for a period of five (5) years. The term of this agreement will be October 1, 2025 to September 30, 2030. In consideration for the terms of this Agreement, the District, being a duly created political subdivision of the State of Texas located in Comal County, Texas, agrees to provide the Service Provider with the following sums:

2.01.1 With the consent of the parties, the payments will be calculated based on the Service Provider's cost of direct and indirect services and the percent of workload the District represents. . To the extent permitted by law, the District agrees to set a budget and tax rate sufficient to generate the funds necessary to meet the terms of this agreement provided that the rate does not exceed constitutional or statutory requirements for the District. Additionally, it is agreed that the District will execute due diligence to pay the amount agreed to by both parties.

2.02 The funds for the term of this Contract shall be paid to the Service Provider in equal payments on a quarterly basis beginning on the first day of October, January, April, and July, with supporting justification submitted by the Service Provider complying with the approved budget and other obligations as contemplated below. When allocating funds to the Service Provider, the District will consider the citizens' needs for the services provided by the Service Provider, other sources of such services, the Service Provider's annual budget and request for funds, reports by the Service Provider of how previous District funds have been spent, the tax revenues received from the area served by the Service Provider, the results of the previous year's financial audit/financial review, and past compliance by the Service Provider with the terms of agreements between the Service Provider and the District and any other issue deemed relevant by the District.

3. PAYMENTS

3.01 The funds allocated to the Service Provider shall be remitted to the Service Provider in compliance with Chapter 791, Texas Government Code. If the tax revenues collected and held by the District are not sufficient to cover all of the District's obligations under this agreement, the parties agree that the District shall transfer to the Service Provider a lesser amount to be determined by the District's Commissioners after considering the amount of funds available, the District's obligations under this agreement, and the District's financial obligations under applicable local, state, and federal law and administrative regulations and any other issue deemed relevant by the

District. Any such deficiency shall be paid as soon as funds are available or as agreed to in writing by the parties.

3.02 Pursuant to Chapter 791, Texas Government Code, and other applicable law, any funds required hereunder to be expended by either party shall be from current revenues and/or surplus reserves.

3.03 The sample methodology for the computation of payments is set forth in the attached “Exhibit A & Exhibit B,” However, the process for determining annual payment for services has been approved by the District’s Commissioners and Service Provider staff for the duration of this contract and is described below:

Base Payment for Services: The Service Provider shall calculate the cost of direct and indirect cost of service by multiplying the proportional district contributions (based on district percentage of total NBFD calls for service within the District to the total NBFD calls for service over the two year period ending with the most recent fiscal years) by the sum of the current Fiscal Year costs for the NBFD Actual Operating Costs and the Indirect Costs of the Actual Administrative Operating Costs Associated with the NBFD as well as an annual contribution for the use of all NBFD facilities, fleet and capital equipment. An example of the computation for the base payment for services is included as Exhibit A.

3.04 Pursuant to Section 775.073, Texas Health & Safety Code, and other applicable law, it is understood and agreed by the parties that any funds allocated by the District to the Service Provider are for maintenance and operation expenses only in the provision of the Fire and EMS Services set forth herein, and the Service Provider, unless otherwise agreed to by the parties hereto in writing, shall not use any District Funds for the purchase, lease, or acquisition of any real or personal property, and any real or personal property of the Service Provider shall remain the sole property of the Service Provider unless District funds are used to purchase, lease, or otherwise acquire real or personal property. The parties further agree that the District does not have any ownership interest in the real and personal property of the Service Provider. The District payments under this Agreement do not create an ownership interest in the real and personal property of the Service Provider.

Service Provider may request additional payments for capital equipment maintenance and operations. These funds will exclusively be utilized to support the capital equipment of the New Braunfels Fire Department, which includes, but is not limited to: Fire apparatus, ambulances, brush trucks, other rescue/support vehicles as well as the inventory of Self Contained Breathing Apparatus (SCBA) . No later than May 31st of every calendar year, the Service Provider shall submit a request for capital equipment maintenance and operations to the District in support of the requested the additional payment for the following fiscal year. The request shall include sufficient documentation to support the need for and amount of the requested additional payment. The District shall consider any requests submitted after May 31st as untimely and defer consideration of such requests until the following year budget cycle.

4. REPORTING REQUIREMENTS

4.01 The Service Provider agrees to submit to the District monthly reports, showing monthly activity and performance under this Agreement. Each report shall be delivered to the District on or before the District's next regular meeting immediately following the month in which the report applies, or as otherwise agreed to by the District and the Service Provider.

4.02 As the District must set its ad valorem tax rate pursuant to applicable law, the annual funding request from the City shall be submitted to the District no later than July 15th of each year. The District's fiscal year runs from January 1 through December 31. The District's Commissioners will not consider an allocation of funds to the Service Provider until they have reviewed the completed Exhibit A & B for the upcoming fiscal year, agree with the figures and have reviewed any additional information they may have requested of the service provider. Additional information may include, but is not limited to: detailed budget reports of the New Braunfels Fire Department, inventory of capital assets, capital equipment replacement schedule, etc.

4.03 Service Provider shall comply with and maintain compliance with all licensing, training, fiscal, and other requirements imposed on the Service Provider by local, state, and federal law or administrative regulations.

4.04 The parties agree that the District shall have the right to review the Service Provider's records as they relate to Service Provider's Fire Department, or as otherwise allowed by law.

5. MUTUAL AID

The Service Provider participates in the statewide mutual aid system pursuant to Texas Government Code section 418.111, as amended. The Service Provider represents it currently participates in mutual aid to all of the emergency services organizations or providers adjacent to the District, and shall continuously maintain those agreements for the benefit of the residents and visitors of the Service Provider and the District. The District may also enter into any and all mutual aid agreements it deems necessary, and the Service Provider agrees to abide by any such agreements for the benefit of the residents and visitors of the Service Provider and the District, so long as such agreement(s) are reasonable. If the Service Provider contends that any such mutual aid agreements are not reasonable, it shall inform the District of its objections in writing prior to any meeting at which the District is deliberating the execution of said agreements.

6. STATEMENT OF PARTICULARS

6.01 The Service Provider agrees to use the funds from the District to provide services set forth in paragraph 1 within the Service Provider's area of responsibility under this Agreement. It is understood and agreed that for the provision of Fire and EMS services by the Service Provider, the Service Provider's area of responsibility will be the entire territorial limits of Comal County Emergency Services District No.7, or as determined on an annual basis by the Parties, and on an equal basis as those services are provided within the City of New Braunfels, Texas, and any increases to the Service Provider's area responsibility beyond that set forth herein will be agreed to by the Service Provider in writing.

6.02 All audit/financial review documents of the Fire Department of the Service Provider will be available to the auditor of the District's choice on or before May 1st of the year after the year for which the audit is conducted. The Service Provider shall provide any open public records requested by the District within ten (10) working days from the date of the request, subject to the Public Information Act.

6.03 Service Provider will implement policies and procedures to ensure that individuals performing services under this Agreement behave in a safe, professional and respectful manner with all other individuals involved in rendering assistance under this Agreement. Service Provider recognizes that the forms of service being provided under this Agreement involve highly dangerous and life-threatening situations and that cooperative and unified action by the individuals providing services under this Agreement is imperative.

6.04 The parties to this Agreement affirm that the District and the Service Provider are separate entities and as such, the Service Provider is responsible for its actions as a Fire and EMS services provider and a home-rule municipality, and the District is responsible for its actions as a political subdivision of the State of Texas. Neither party shall be responsible for the actions of the other in case of any liability for damages or other relief. Neither the Service Provider, its agents, nor any other person operating under this contract shall be deemed to be an agent or employee of the District, and the District shall not be liable for negligence or other conduct, acts, or omissions of any such person.

7. PERFORMANCE STATEMENT

Service Provider shall:

- Assure all its emergency response personnel are appropriately trained and certified for the levels of service provided;
- Assure that qualified personnel are available to respond to each call to which the Service Provider is dispatched;
- Assist the District with matters related to enhancing the Fire Protection Classification of the District;
- Other items that may be agreed to in writing from time to time by the parties.

Provide adequately equipped and operational emergency vehicles, equipment and personnel to respond to each call to which the Service Provider is dispatched. At all times during the term of this Agreement, the Service Provider shall provide services and staffing to the District as it does to the City of New Braunfels, Texas.

8. INDEMNIFICATION:

8.01 The Service Provider shall indemnify to the fullest extent permitted by law and hold the District, as well as its commissioners, officials, agents, volunteers, and employees, harmless from

any and all claims of any type, including negligence, and all attorney's fees and related costs, made on account of any loss through personal injuries, deaths, or property damages, arising directly or indirectly out of the sole or concurrent negligence, or the sole or concurrent intentional acts or omissions of the Service Provider or its contractors, officials, agents, employees, volunteers, subcontractors, or representatives, in performing the services required under this Agreement, except where the District is concurrently negligent or has committed concurrent intentional acts or omissions.

8.02 The District shall indemnify to the fullest extent permitted by law and hold the Service Provider, as well as its governing body, officials, agents, volunteers; and employees, harmless from any and all claims of any type, including negligence, and all attorney's fees and related costs, made on account of any loss through personal injuries, deaths, or property damages, arising directly or indirectly out of the sole or concurrent negligence, or the sole or concurrent intentional acts or omissions of the District or its commissioners, officials, agents, employees, volunteers, contractors, subcontractors, or representatives in performing under this Agreement, except where the Service Provider is concurrently negligent or has committed concurrent intentional acts or omissions.

8.03 It is expressly understood and agreed that, in the execution of this agreement, neither party waives, nor shall be deemed hereby to waive, any immunity or defense that would otherwise be available to it against any claims by third parties arising in the exercise of its governmental powers or other powers or functions or pursuant to the Texas Tort Claims Act or other applicable statute, law, rule, or regulation.

8.04 In accordance with Texas Government Code, Section 791.006 regarding assignment of civil liability, and except as otherwise provided by applicable law, including, but not limited to, regulations regarding workers compensation insurance, each party hereto shall be responsible for injuries or death to its employees and volunteers while performing services under this Agreement. A party shall not be liable for benefits or any other compensation for injuries or death of the other party's employees or volunteers while performing services under this Agreement. An employee or volunteer shall be deemed to be performing services when en route to, en route from, or at the scene of a call or emergency. Specifically citing Texas Government Code Section 791.006 (a-1), the parties agree that, for purposes of determining civil liability for non-party claims, the act of any person or persons while fighting fires, providing rescue services, providing EMS services, traveling to or from any type of emergency call or emergency scene, or in any manner furnishing services in accordance with this Agreement, shall be the act of the party performing such act. The payment of any and all civil or other liability, including negligence, resulting from the furnishing of services under this Agreement is the responsibility of the individual party performing such acts. This shall specifically include, but not be limited to, the payment of court costs, expenses, and attorneys' fees resulting from any such claim or lawsuit. It is agreed between the parties that any out-of-pocket deductible paid by the Service Provider as a result of claims related to the provision of the Fire and EMS Services hereunder shall be borne equally between the Service Provider and the District. The Service Provider may pay any such deductibles and invoice the District for same, which invoice shall be due within thirty (30) days after receipt by the District. The parties agree that the assignment of liability described in this Section 8 is intended to be different than liability otherwise assigned under Section 791.006 (a) of the Texas Government Code.

9. MISCELLANEOUS:

9.01 In the event that the District determines that the Service Provider has violated any of the terms of this Agreement, the District may notify the Service Provider of the alleged violation in writing. The Service Provider shall, within thirty (30) calendar days following the date of notice, correct the deficiency and provide the District with written confirmation that the deficiency has been corrected. If the Service Provider contends that the alleged violation has not occurred or that any act or omission does not constitute a violation, it shall provide a written objection to the District of its contention within ten (10) calendar days following the date of the notice of violation. The parties then shall attempt to resolve their differences informally. If the parties cannot reach an agreement within thirty (30) calendar days following the Service Provider's notice of objection, the parties will submit the matter either to mediation, or if both parties agree, to binding arbitration. If arbitration is selected, the matter shall be submitted to an arbitrator with membership in the American Arbitration Association. If mediation is selected, the mediator selected will be by agreement of the parties, or if the parties cannot agree on a mediator, the Comal County Alternative Dispute Resolution Coordinator or similar office shall select the mediator.

9.02 If the Service Provider is not fully paid as set forth herein by the District, the Service Provider shall provide written notice to the Secretary of the District of the failure of the District to properly pay for the services provided hereunder. The District shall, within thirty (30) calendar days following the date of notice, correct the deficiency or, if the District contends the Service Provider has been paid as set forth herein, it shall provide a written accounting to the Service Provider of its contention within 10 calendar days following the date of the notice of non-payment. If the Service Provider is not fully paid as set forth herein, after this notice and opportunity to cure, the Service Provider may terminate this agreement on sixty (60) calendar days written notice to the District.

9.03 This Agreement is executed in Comal County, Texas, and venue over any action relating to any provision of this Agreement shall be exclusively in Comal County, Texas. This Agreement shall be governed by the laws of the State of Texas.

9.04 The persons signing this Agreement warrant that they are authorized to enter into this Agreement on behalf of the respective entities that they represent and to bind those entities to the provisions of this Agreement.

9.05 In the event that this Agreement is not renewed at the end of its term as stated herein, this Agreement shall remain in full force and effect after such expiration of this Agreement and shall be automatically renewed thereafter on a month-to-month basis until a new agreement is reached between the District and the Service Provider or the Agreement is otherwise terminated by either party hereto, and payments by the District to the Service Provider shall be pro-rated on a monthly basis based on the annual consideration then in effect.

9.06 This Agreement shall remain in effect as stated above, until such time as either party desires to amend or terminate this Agreement, with or without cause. A party wanting to terminate this Agreement will give one hundred eighty (180) days written notice to the other party, unless

one of the parties is in violation of any provision of this Agreement and the party desiring to terminate this Agreement desires to terminate for cause, in which event the Agreement may be terminated pursuant to written notice and following the notice and cure provisions stated above. The written notice shall be mailed to the below-noted addresses via U.S. certified mail, postage prepaid and return receipt requested, and the date of mailing shall be deemed the date of the postmark. Upon notice of the desire to terminate or amend the agreement, both parties may negotiate any mutually satisfactory amendment or renewal of the Agreement.

9.07 This Agreement contains the entire agreement between the parties and all prior negotiations, statements, or representations are superseded and displaced hereby. A waiver, alteration, or modification of this Agreement shall not be binding unless it is in writing and signed by both parties.

9.08 The headings of the various paragraphs of the Agreement have been inserted for convenient reference only and shall not be construed to enlarge, diminish, or otherwise change the express provisions hereof.

9.09 In the event that any one or more of the provisions contained in the Agreement shall **be** held to be invalid or unenforceable in any respect by a court of competent jurisdiction, such invalidity of unenforceability shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal or unenforceable provision did not exist.

9.10 The governing body of each party to this Agreement shall authorize entry by such party into this Agreement.

9.11 Any notices under this Agreement, excluding reporting requirements by the parties, shall be sent by certified mail, return receipt requested, addressed to the appropriate party at the following addresses:

If to the District:

President
COMAL COUNTY EMERGENCY SERVICES DISTRICT NO. 7
P.O. Box 311975
New Braunfels, Texas 78131-1975

With a copy to:

Secretary
COMAL COUNTY EMERGENCY SERVICES DISTRICT NO. 7
P.O. Box 311975
New Braunfels, Texas 78131-1975

John J. Carlton
THE CARLTON LAW FIRM, P.L.L.C.
4301 Westbank Drive, Suite B-130
Austin, Texas 78746

If to the Service Provider:

City Manager
CITY OF NEW BRAUNFELS
550 Landa Street
New Braunfels, Texas 78130

With a copy to:

City Attorney
CITY OF NEW BRAUNFELS
550 Landa Street
New Braunfels, Texas 78130

Fire Chief
CITY OF NEW BRAUNFELS
550 Landa Street
New Braunfels, Texas 78130

9.12 Any rights that the Service Provider may have under this Agreement may not be assigned without the express written permission of the District, and nothing in this Agreement precludes or prevents the District from contracting with other entities to provide the same or similar services during the term of this Agreement.

9.13 Pursuant to § 775.040, *et seq.*, Texas Health & Safety Code, the District and the Service Provider are specifically authorized to charge a reasonable fee for emergency services performed for or on behalf of a person or entity, including a fee for responding to a false alarm or for a fire code inspection, and such fees may be collected as set forth therein, either by the District or the Service Provider, at the rates and under the conditions as may be agreed to from time-to-time by the parties hereto. The Service Provider is hereby authorized to charge the established rates and fees as charged within the Service Provider for Fire and EMS Services provided within the District.

This Agreement is executed and signed on this ____ day of , 2025, to be effective as of the dates noted above.

COMAL COUNTY EMERGENCY
SERVICES DISTRICT NO. 7

CITY OF NEW BRAUNFELS

JAMES FRYE
PRESIDENT

Robert Camareno,
CITY MANAGER

ATTEST:

Kim Carroll, Secretary
COMAL COUNTY EMERGENCY
SERVICES DISTRICT NO. 7

EXHIBIT A

Base Payment Calculation

FY 2023 - FY 2024 Total City Calls	
Year	Total
FY 2023	13,277
FY 2024	13,283
<i>Average</i>	<i>13,280</i>

FY 2023 - FY 2024 Total ESD #7 Calls	
Year	Total - ESD #7
FY 2023	1,213
FY 2024	1,254
<i>Average</i>	<i>1,234</i>

ESD as a percentage of total calls for service (Two Year Average) 9.3%

FY 2024 NBFD Actual Operating Costs	\$	28,201,883
Payment for services - District (9.3%)	\$	2,619,505

Total - FY 2024 Actual Administrative Operating Costs	\$	16,219,495
Indirect Costs Associated with Fire Department*	\$	4,333,167
Admin Operating Cost Contribution - District (9.3%)	\$	402,482

Annual Funding Requirement - Facilities & Equipment*	\$	5,289,583
Equipment/Facilities Contribution - District (9.3%)	\$	491,318

Total District General Fund Contribution (Base Payment) \$ 3,513,305

8/25/2025

Agenda Item No. D)

PRESENTER:

Scott McClelland, Assistant Transportation and Capital Improvements Director

SUBJECT:

Approval of the New Braunfels National Airport Development and Design Standards Manual.

DEPARTMENT: Transportation and Capital Improvements**COUNCIL DISTRICTS IMPACTED:** 2**BACKGROUND INFORMATION:**

The City of New Braunfels adopted an Airport Master Plan in 2019 to establish goals to facilitate the growing aviation demands of the region. The Design and Development Standards Manual (DDSM) establishes specific design criteria and guidelines for all development to be undertaken at the New Braunfels National Airport. The DDSM intends to guide public or private projects on airport property. Adherence to these criteria should result in project development that conforms to the standards of the City of New Braunfels and the Federal Aviation Administration. The DDSM will enable the City to move forward with growth goals established in the master plan.

The Transportation and Capital Improvements Department collaborated with many divisions throughout the City to develop the DDSM including; the New Braunfels National Airport, Building Safety Division, Planning Division, Engineering Division, Fire Marshal's Office, and Solid Waste Division. The DDSM was developed by RS&H under a contract approved by City Council on June 24, 2024.

The DDSM was unanimously approved by the Airport Advisory Board on May 21, 2025.

ISSUE:

Develop standards for future airport growth.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☒ Organizational Excellence ☐ Community Well-Being ☐ N/A

Continue to utilize cross departmental teams to enhance services provided to internal and external customers.

FISCAL IMPACT:

N/A

RECOMMENDATION:

The Airport Advisory Board and Staff recommend the approval of the New Braunfels National Airport Development and Design Standards Manual. Staff recommends approval.

AIRPORT ADMINISTRATION OFFICE
2333 FM 758
New Braunfels, Texas 78130
Phone (830) 221-4290 Fax (830) 620-9017

AIRPORT DESIGN AND DEVELOPMENT STANDARDS MANUAL 2025 EDITION



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1 Introduction

1.1 Purpose and Scope

This Airport Design and Development Standards Manual ("DDSM" or "manual") establishes specific design criteria and guidelines for all development to be undertaken at the New Braunfels National Airport ("BAZ" or "Airport"). The manual is not intended to limit, subvert, or dismiss the experience, knowledge, or talent of the designer, nor to discourage the need for such qualified designers. Adherence to these criteria should result in project development that conforms to the standards of the City of New Braunfels, Texas ("City") as well as the Federal Aviation Administration ("FAA"). The intent of this manual is to provide guidance to Designers building on Airport property and to serve as a roadmap for navigating the City's permit process.

1.2 Applicability

The criteria in this manual applies to all improvements and projects on Airport property, both publicly and privately funded, within the City and within its Extra-Territorial Jurisdiction (ETJ). Criteria in this manual applies to any capital improvement or other development project, plat, master plan, or building permit, except as otherwise noted in the manual.

NOTICE

This Design and Development Standard Manual is intended to act solely as a helpful resource for the requirements and necessary processes for development at the New Braunfels National Airport. This is not an Ordinance item nor is it intended to serve in place of any New Braunfels City Ordinance, Federal Aviation Administration Regulation, or other local, state or federal regulations. This manual intends to provide the minimum requirements of the most stringent regulation. If any City Ordinance, Federal Aviation Administration Regulation, Airport Rules and Regulations, Airport Minimum Standards, or other local, state, or federal regulations are found to be more stringent, then that document holds supreme.

1.3 Abbreviations

AC	Advisory Circular
ADA	Americans with Disabilities Act
ADG	Aircraft Design Group
ADO	Airport District Office
AHU	Air Handling Unit
AIP	Airport Improvement Program
ALP	Airport Layout Plan
AOA	Air Operations Area
ATCT	Air Traffic Control Tower
BAZ	New Braunfels National Airport
BRL	Building Restriction Line
CSPP	Construction Safety Phasing Plan
DCM	Drainage Criteria Manual
DDSM	Design and Development Standard Manual
ETJ	Extra-Territorial Jurisdiction
EPA	Environmental Protection Agency
FAA	Federal Aviation Administration
FAR	Federal Aviation Regulation
FOD	Foreign Object Debris
IFC	International Fire Code
LOB	Lines of Business
MOS	Modifications of Standards
NEPA	National Environmental Policy Act
NFPA	National Fire Protection Association
NBU	New Braunfels Utility
OFA	Object Free Area

OFZ	Obstacle Free Zone
ROFA	Runway Object Free Area
RPZ	Runway Protection Zone
RSA	Runway Safety Area
SPCC	Spill Prevention Control and Countermeasure
SWPPP	Stormwater Pollution Prevention Plan
TAC	Texas Administrative Code
TAS	Texas Accessibility Standard
TCEQ	Texas Commission on Environmental Quality
TDLR	Texas Department of Licensing and Regulation
TIA	Traffic Impact Analysis
TLOFA	Taxilane Object Free Area
TOFA	Taxiway Object Free Area
TSA	Taxiway Safety Area
TxDOT	Texas Department of Transportation
UL	Underwriters Laboratory

1.4 Definitions

Airport	Refers to New Braunfels National Airport.
Airside	All parts of the Airport operating inside secure areas. May also be referred to as "AOA" or "Secured Area".
Airport Layout Plan	A scaled drawing or set of drawings, in either hardcopy or electronic form, of existing and future airport facilities that provides a graphic representation of the existing and long-term development plan for the airport and demonstrates the preservation and continuity of safety, utility, and efficiency of the airport to the FAA's satisfaction.
AOA	Air Operations Area is the paved and unpaved areas of an airport intended to facilitate aeronautical operations where local security measures apply. Typically, the air operations area encompasses that part of the airport within the perimeter fence.
Building Restriction Line	A line which identifies suitable building area locations on the Airport.
City	Refers to the City of New Braunfels. Term will also be interpreted to refer to the City representative(s) with authoritative approval of the various components of a project.
Contractor	Entity completing construction activities on Airport property. This may be the Designer of the project or an agent acting on their behalf.
Development Design Documents	Set of documents defining the construction scope of work to be completed by the contractor, including drawings, technical specifications, CSPP, and contract documents written for the contractor's action. These documents must be signed and sealed by a Design Professional, licensed in the State of Texas.
Designer	A Registered Design Professional, Developer, or Contractor responsible for design, permitting, and/or construction at the Airport. The Designer may or may not have a direct contract with the City.
Object Free Area	An area centered on the surface of a runway, taxiway, or taxilane centerline provided to enhance the safety of aircraft operations by remaining clear of objects, except for objects that need to be

	located in the Object Free Area for air navigation or aircraft ground maneuvering purposes.
Runway	A defined rectangular surface on an airport prepared or suitable for the landing or takeoff of aircraft.
Shoulder	An area adjacent to the defined edge of paved runways, taxiways, or aprons designed to: transition between the pavement and the adjacent surface, support aircraft and emergency vehicles deviating from the full-strength pavement, facilitate drainage, and provide blast protection.
Taxilane	A defined taxi path designed for low speed and precise maneuvering of aircraft. Taxilanes provide access from a taxiway to aircraft parking positions and other terminal areas. Taxi speeds on taxilanes are generally not more than 15 mph.
Taxiway	A defined path established for the taxiing of aircraft from one part of an airport to another. Taxi speeds on taxiways will typically range from 15 mph to 35 mph.

1.5 Principal Changes

The following table summarizes the key revisions to the DDSM from the prior version:

Table 1-1: Principal Changes

Section	Topic	Description of Change

2 Airport Development Process

The following sections outline the necessary processes for any Designer to complete a development project at the Airport. These guidelines serve as a general reference and may be modified by the City or Airport as needed. All Designers must contact the Airport prior to starting the design of any development on Airport property.

2.1 Pre-Design Process

2.1.1 Airport Development Pre-Design Meeting

A meeting with the Airport is required to review schematic design elements of the proposed project prior to starting design. At a minimum, the Designer must come prepared to address the following:

1. Scope of work – include a preliminary site plan
2. Lease Boundary Survey
3. Environmental impacts (National Environmental Policy Act [NEPA])
4. Project alignment with Airport Master Plan and Airport Layout Plan (ALP)
5. Design and construction schedule – include discussion of permitting, reporting and key project submittals
6. Preliminary construction phasing – include discussion of construction traffic and access, and airfield closures if applicable

All project elements must be reviewed and approved by the Airport before design work begins. During this meeting the Airport and the Designer must agree on the number of submittal stages that will be reviewed by the Airport. For projects utilizing federal and/or municipal funds, 30%, 60%, and 90%, interim design review submittals will be required.

2.1.2 Pre-Design Documentation Approval

2.1.2.1 Airport Layout Plan Update

All development on Airport property must be incorporated into the ALP before construction can begin. The ALP requires review and approval by the FAA. Designers must provide the necessary information to the Airport to verify whether the development is already included in the ALP or if a revision will be required. Refer to **Section 4.1 Airport Layout Plan**, for specific requirements.

2.1.2.2 Environmental Documentation

The Designer must coordinate with the Airport and provide the required NEPA supporting documentation prior to start of design and construction. Supporting documentation may include, but is not limited to, project descriptions and supporting exhibits. Refer to **Section 4.10.2 National Environmental Policy Act** in this manual for more information.

No construction activity may occur prior to obtaining necessary NEPA documentation approvals.

2.2 Design Phase

The Airport must be informed of, and review, all development design documents outlined in **Section 3 Permit Submittal Requirements** or as agreed upon during the development pre-design meeting.

For projects involving airfield closures, the Designer must engage the Airport to approve construction phases. Additionally, the Designer is responsible for securing all necessary approvals from external agencies, such as FAA, New Braunfels Utilities (NBU), Texas Department of Transportation (TxDOT), and Texas Commission on Environmental Quality (TCEQ), before submitting a permit application.

2.2.1 FAA Form 7460-1 Notice of Proposed Construction or Alteration

Once construction phasing and design elements are finalized, the Designer must submit Form 7460-1, Notice of Proposed Construction or Alteration, temporary and/or permanent, through the Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website.

<https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

For all project occurring inside the secured area and all AIP funded projects, in addition to both temporary and permanent Form 7460-1 submittals, the Designer must submit a Construction Safety Phasing Plan (CSPP) through the OE/AAA website for FAA review.

Refer to FAA AC 150/5300-20 Submission of On Airport Proposals for Aeronautical Study, current version for more information on applicability and procedures.

Once a Form 7460-1 is submitted, the FAA initiates the coordination of an aeronautical study. After the FAA completes an aeronautical study, it will issue an agency determination, which focuses on the safety and efficiency of navigable airspace and the safety of people and property on the ground. This determination does not approve or disapprove the physical development itself, nor does it relieve the Designer from complying with other laws or regulations of the FAA

In accordance with 14 CFR Part 77, referred to as Part 77, Designers must provide at least 45 working days' notice before filing a construction permit application. Filing the notice 60-90 working days in advance is recommended, and notices more than 90 working days prior are encouraged for complex projects involving runways, taxiways, or navigational aids. Early coordination with the local FAA Airport District Office (ADO) or Regional Office (RO) is advised. The FAA's aeronautical study process involves evaluations by various FAA Lines of Business (LOB), and there is no guarantee that a final determination will be issued within the 45-day period. Part 77 does not allow for waivers or exemptions, and there is no way to shorten or bypass this process.

Determinations may have an expiration date. If the Designer cannot complete the project 15 days before it expires, they must request an extension at least 15 days in advance. The FAA may grant an extension of up to 12 months. If the work is not completed before the extension expires, a new notice is required.

The determination letters in addition to the CSPP must be included in the permit application submitted to the City.

2.2.2 Airport Concurrence Review

After design is complete, the Designer must submit the development design documents to the Airport for concurrence with the final proposed project. This is intended to ensure that the proposed project aligns with the Airport's development goals and objectives. The review must be completed, and written concurrence must be obtained prior to submitting for permit.

2.3 Permitting Phase

2.3.1 Requirements

The City requires development design documents to be complete before starting the permit application. Once the design is complete and the project has received Airport concurrence, the Designer must submit final development design documents listed in the permit application checklist. All development design documents to be submitted for permit review must be signed and sealed by a Professional Engineer and/or Architect registered in the State of Texas.

All development design documents must be submitted through the City's [Online Permitting Portal](#). Refer to the [Permit Portal & Online Payment Guide](#) for information on how to use the online portal and permitting fees.

A plan reviewer will check for completeness. If documents are missing, they will be returned for correction. If complete, the application will be routed for review. Review comments are uploaded to the City's online permit portal during this period. If additional information is needed, the City will send correspondence requesting additional information. Once approved, the plan reviewer will calculate fees, issue a permit, and notify the Designer. No development can occur without a permit issued by the City.

2.3.2 Checklist for Permit Application

Please refer to the City of New Braunfels permit checklists for airport property development found in **Appendix A**. Complete and submit the applicable checklist with the permit application. Two checklists are available, based on development type.

- **Checklist for Airport Buildings Development Permit Submittals** – This checklist is intended for all building projects designed and constructed within the airport property, including, but not limited to, Hangar, T-Hangar, Terminal, etc.
- **Checklist for Airport Horizontal Development Permit Submittals** -This checklist is intended for all horizontal projects designed and constructed within the airport property, including, but not limited to, Aprons, Taxiways, Runways, General Pavement, Parking Lots, Fencing, Arfield and Landside Electrical, Utility Improvements, Drainage, Wastewater, and Landside or Airside Roads.

For projects that include both buildings and horizontal components, the Checklist for Airport Buildings Development Permit Submittals will apply.

2.4 Construction Phase

The project must be constructed in accordance with the approved development design documents. The project is subject to inspection by representatives of the City, the Airport, the FAA or TxDOT. The Contractor must provide unrestricted access to the site for inspection purposes during the entire construction phase.

The Contractor must keep the Airport informed and engaged throughout the construction phase. Any changes during construction to the approved Construction Safety Phasing Plan (CSPP), impacting Airport operations, must be communicated to, and approved by the Airport before implementation. Additionally, changes to the CSPP may also require approval from the FAA.

No person, firm, corporation, or any other entity may engage in any construction activity of any size or duration without first obtaining all applicable permits and complying with all applicable requirements of the City.

2.5 Project Closeout

The Contractor must keep a complete set of the development design documents onsite for the purpose of recording "As-built" conditions in order to develop a record of constructed work. The Contractor must complete daily work reports and record all changes and deviations between development design documents and work completed in the field. These "As-built" conditions must be submitted to the Designer to complete the closeout documentation.

The Designer must submit closeout documentation to the Airport as noted in the Checklist attached to **Appendix B**. The designer is required to submit the signed closeout checklist before the City can issue the Certificate of Occupancy.

1. Set of Record Drawings in CAD and PDF format.
 - When preparing record drawings, all items must be shown in actual location installed. Any deviation between development design documents and the work completed must be recorded.
 - All underground utility structures encountered in performing the work must be correctly located on such drawings by means of physical ties or dimensions to permanent monuments or structures. The contractor's surveyor must locate and record actual locations of utilities installed along with the type, size, material, and depth of utility installed.
2. As-Built survey data in CAD and native format.

3. Certificate of Completion
 - The Certificate of Completion must include certification that all punch list items identified during the Final Inspection have been completed in accordance with the development design documents.
4. Testing and Commissioning Reports.
5. Project Operation and Maintenance (O&M) Manual(s) (if required).
6. Final Hardware Schedule (if required).
7. Owner Training of Systems (if required).
 - Training of systems, subsystems, and/or equipment must include instruction on their operation, adjustment, and maintenance.
 - Training Videos and Training Session Logs must be included in closeout documentation.
8. Airport Diagram Update (if required, Designer must coordinate update with Airport).
9. Airport Layout Plan Update (if required, Designer must coordinate update with Airport).
10. Closeout Documents as required in the Contract Documents (For Federal funded projects refer to FAA General Provisions Section 90-11 Contractor Final Project Documentation).

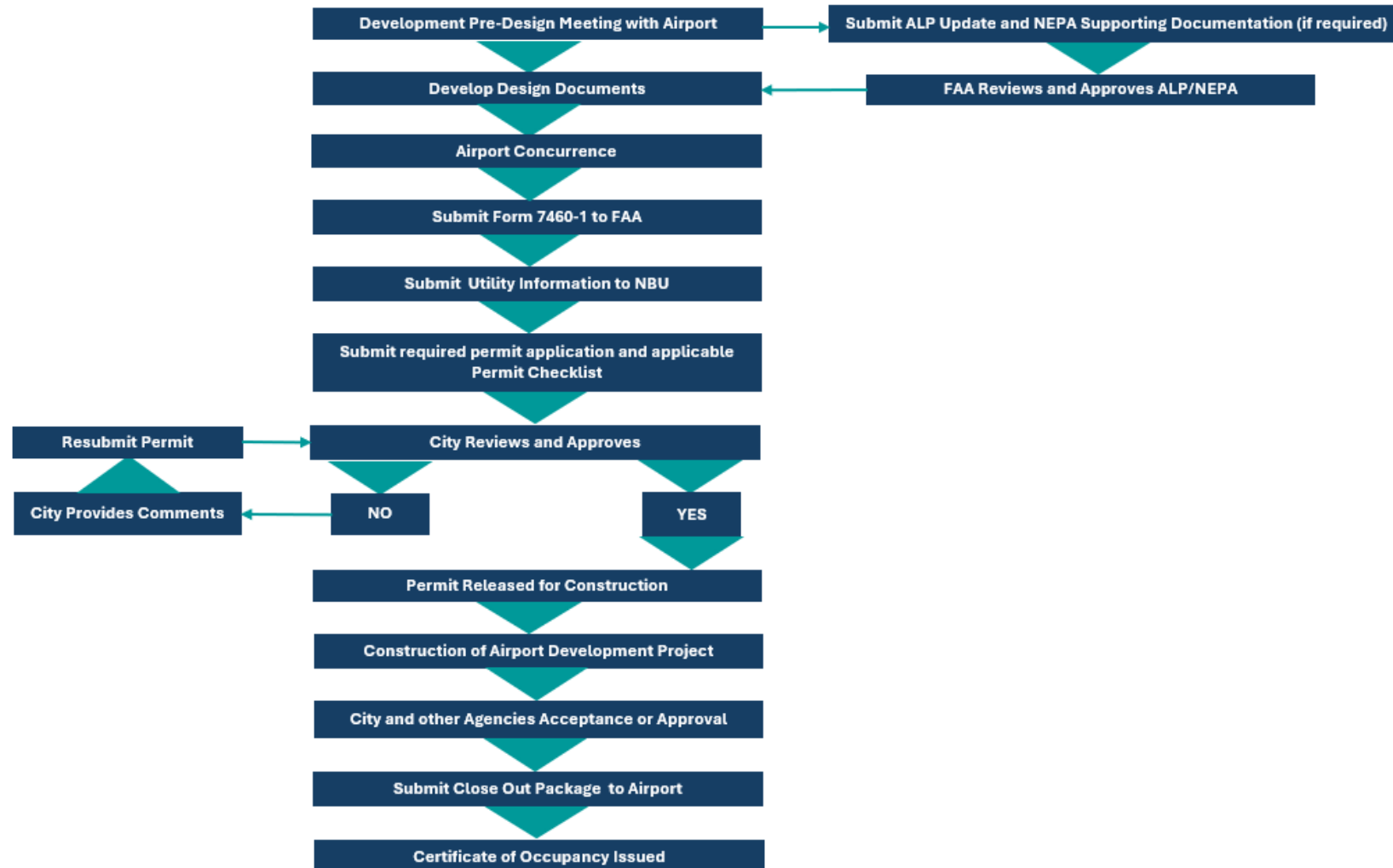
2.6 Project Roadmap

The City permitting processes are outlined in the flowchart as shown in Figure 2-1 on the following page.

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Figure 2-1 : Airport Construction Permitting Process

CITY OF NEW BRAUNFELS AIRPORT CONSTRUCTION PERMITTING PROCESS



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3 Permit Submittal Requirements

The Designer must ensure that the permit submittal includes the minimum requirements outlined in the appropriate permit checklist detailed in **Section 2.3.2 Checklist for Permit Application**. The following sections expand on the requirements for what must be included.

The Designer must also comply with the requirements of the BAZ DCM. All documents must be complete, including design, drafting, coordination, dimensioning, and cross-references. Agency plan comments must be fully addressed, and feedback from the Airport and approved tenants from all prior reviews must be incorporated into the documents or otherwise resolved to the Airport's satisfaction.

The Designer must include the City's Construction Plan Notes and Requirements in all development design documents. These requirements can be found on the City's website ([Engineering | New Braunfels, TX - Official Website](#)).

Additionally, all development design documents must be signed and sealed by a licensed professional registered in the state of Texas as part of the permit submittal.

3.1 Certification

The Designer must certify in writing that all development design documents are in conformance with the BAZ DDSM, all code agency requirements, and that the documents are complete. Any variances to the standards must be submitted in writing during the permit application process.

3.2 Airport Horizontal Development Design Documents

The Designer must prepare development design documents based upon the scope of work approved by the Airport during the pre-design meeting and include the following items as a minimum:

3.2.1 Horizontal Site Development Plans

Horizontal Site Development Design Plans must include the following plan sheets, if applicable.

- Detailed site and grading plan with dimension control. The plans must include driveways, roads, airfield pavement geometrics, Airport security fencing layout, sidewalks, parking layout, dumpster and outside trash receptacle areas, proposed and existing grades, and site utilities.
- Detailed demolition plan. The plans must include all existing conditions and proposed demolition items.
- Detailed Drainage Plan and Profile. The plans must include existing and proposed contours, right-of-way limits, existing and proposed drainage easements, horizontal layout of infrastructure, drainage infrastructure locations, and access ramps and paths. The plans must also include effective FEMA floodplains and floodways with base flood elevations (BFE) identified. The profiles must include utility crossings, hydraulic grade lines for the 25-year and 100-year events, pipe slopes, sizes, and materials, flow line elevations, profiles of

existing and proposed grades along centerlines, as applicable, vertical layout of infrastructure, channel cross sections indicating channel depth, and energy dissipation measures. The plans must include tables of calculations showing discharge rates for all required storm frequencies, as well as velocities and flow depths for the 2-year storm, design storm, and check storm frequencies. The design and check storm frequencies vary depending on the proposed drainage facility, and it is the developer's responsibility to determine the required frequencies in accordance with the City's Drainage and Erosion Control Design Manual.

- Pre-Development and Post-Development Drainage Area Maps. The pre-development drainage area map must include existing contours, existing drainage infrastructure, drainage easements on and adjacent to the site, watershed delineations, off-site contributing areas, time of concentration paths, flow arrows, points of discharge, drainage area calculation summary tables, and flow summary tables at each point of discharge. The post-development drainage area map must include all items required on the pre-development drainage area map and proposed contours, proposed site layout, proposed drainage infrastructure, and a comparison of flows to the pre-development conditions.
- Detailed Airfield Pavements, and Roadways Plan. Include plans, profiles, and pavement details for the proposed parking, roadways, and airfield surfaces. Ensure compliance with all applicable FAA, City, and TxDOT standards.
- Detailed Airfield Marking Plan. The plans must include all proposed layout of airfield pavement markings, clearly shown and labeled per FAA AC 150/5340-1 Standards for Airport Markings.
- Detailed Parking Plan. All site paving, parking, site ingress and egress must be shown on the site plan. Show the number, size, and layout of parking spaces, including accessible parking spots. Detail entry and exit points, driveway widths, turning radii, and connections to public roads. Designate pedestrian walkways, crosswalks, and pathways as applicable. Include structural details for the proposed parking and drive isle surfaces.
- Detailed Utility Plan and Profile. The plans must include the horizontal layout of existing and proposed water, gas, fiber, electrical and wastewater facilities and appurtenances. The profiles must include the vertical layout of existing and proposed water and wastewater facilities and appurtenances, pipe size, slope, material, station numbers, existing and proposed ground lines, and flow line elevations. Should a sanitary sewer lift station be required, plans detailing the lift station wet well, pumps and valves, and a control panel must also be provided.
- Detailed Detention Plan. The plans must include the horizontal layout of any existing and proposed detention facilities, existing and proposed contours, maintenance access, 100-year water surface elevations with 1-foot freeboard, stage, storage, and discharge summary table for the 2-year, 10-year, 25-year, and 100-year events, location and details of the spillway and outfall control structure(s), vegetation requirements, concrete pilot channels to convey runoff from entry points to the outlet, and cross sections indicating side slopes.
- Stormwater Pollution Prevention Plan (SWPPP) and soil erosion and sediment control plan.
- Detailed Airfield Lighting and Signage Plan. The plans must include all existing underground utilities affecting electrical work, clearly shown and labeled. Additionally, all

existing and proposed cable circuits, lighting, signage, and associated electrical elements must be shown and labeled. Signs must meet offset criteria as established by FAA AC 150-5340-18, current version. Airfield Lighting must meet spacing requirements outlined in FAA AC 5340-30, current version.

- **Electrical Site Plans.** The plans must include the location of exterior lights, lighting fixtures, including street lights, security lights, or parking lot lights. The plans must also depict the location of the electrical meter, service panel, and main electrical distribution point, showing how power enters the site. Additionally, include details on light poles, fixture, and other control devices.

For a further detailed description of what is required on each sheet, refer to the City of New Braunfels Construction Plan Set and Report Requirements, current version.

(<https://www.newbraunfels.gov/DocumentCenter/View/16860/Construction-Plan-Set-and-Report-Requirements-2019-12-12>)

All NBU Utilities must be approved prior to permit approval. The designer must show all utilities in the development design documents

3.3 Airport Buildings Development Design Documents

The Designer must prepare development design documents based upon the scope of work approved by the Airport during the pre-design meeting and include the following items as a minimum:

3.3.1 Architectural Plans

- Life Safety and Code Plans.
- Site Plan.
- Floor Plans.
- Roof Framing Plans and Details.
- Roof Plan.
- Exterior Elevations.
- Building Sections and Wall Details.
- UL assembly numbers for any fire rated walls or partitions.
- Plans must be completely coordinated with other disciplines.
- Door and Window Schedule.
- Necessary Detail Drawings.
- Necessary Civil Components.
- Americans with Disabilities Act (ADA) Plan with elevations.
- Solid Waste Plan per City's Code of Ordinances, Section 110-58.
- For a conditioned space, building thermal envelope compliance report must be submitted (e.g. COMcheck).

3.3.2 Horizontal Site Plans

- Requirements listed in **Section 3.2 Airport Horizontal Development Design Documents** will apply if the project includes civil elements.
- Plans must be completely coordinated with other disciplines.

3.3.3 Structural Plans

- Floor plans showing structural foundations systems and sub-slab construction, horizontal and vertical framing systems, suspended slab openings, depressed slab locations, lateral load cross bracing, and typical construction details; final structural design criteria; foundation design criteria; preliminary sizing of major structural components; critical clearances; outline specifications.
- Engineered drawings are required for the foundation, pre-engineered/ manufactured metal building, pre-engineered trusses or joists, etc.
- Plans must be completely coordinated with other disciplines.

3.3.4 Mechanical Plans

- Mechanical plans must incorporate dimensions, symbols, reference to codes, conventions, schedules, diagrams in describing the size and routing of pipes, material to be used, equipment criteria, duct sizes and shapes, amount of flow and the temperature of material in pipes and ducts, valve types and location, floor and wall penetrations, tank construction, equipment, piping insulation, and other facets of mechanical design as required.
- Mechanical plans must include information on exterior or roof mounted air handling units (AHUs), cooling towers, etc. and be coordinated with architecture plans and elevations.
- Provide a legend sheet indicating symbols, line types, and abbreviations used in the contract plans.
- Mechanical Compliance Report (e.g. COMcheck).
- Schedule of mechanical equipment.
- Plans must be completely coordinated with other disciplines.

3.3.5 Plumbing Plans

- Plumbing plans must incorporate requirements for construction of the facility design, including pertinent services, equipment, and other features required for the performance of the plumbing equipment. These drawings incorporate dimensions, symbols, reference to codes, conventions, schedules, diagrams, etc. in describing the size and routing of pipes, the kind of material to be used, equipment criteria, duct sizes and shapes, amount of flow and temperature of material in pipes and ducts, valve types and location, floor and wall penetrations, tank construction, equipment, piping insulation, and other facets of mechanical design as required.
- Floor Drains within the hangar space may be required if there are going to be aircraft washing or similar operations within the hangar. If the hangar is only going to be used for aircraft, a floor drain is not required. Be sure to advise the Fire Department if the

intended use is aircraft storage only and have them clarify the requirement beforehand. Buildings having floor drains (located in other than restrooms) connected to the sanitary sewer must provide an oil water separator and inspection manholes on the site outside the building. Floor drains must never be connected to stormwater drainage systems.

- Provide a legend sheet indicating all symbols, line types, and abbreviations used in the contract plans.
- Schedule of plumbing equipment.
- Plans must be completely coordinated with other disciplines.

3.3.6 Electrical Plans

- Electrical plans must generally include, as required, the following types of delineations:
 - Block Diagrams.
 - One Line Diagrams.
 - Schematic Diagrams.
 - Connection Diagrams.
 - Facility electrical power distribution plans.
 - Facility lighting plans.
 - Facility lightning protection plans.
 - Panel, circuit, and other schedules.
 - Detail drawings.
 - Schedule of electrical equipment.
- The number of delineation drawings for a project must be kept to a minimum, consistent with clarity for constructability.
- Interior and exterior lighting compliance report must be submitted (e.g. COMcheck).
- Drawings must be completely coordinated with other disciplines.

3.3.7 Communications and Security Plans

- Facility communications plans and risers.
- Schedule of communications equipment.
- Security camera locations.
- Door access hardware requirements.

3.3.8 Fire Protection Plans

- Fire protection plans delineate the components required to provide fire protection to the facility. This includes all methods of fire protection including, but not limited to:
 - Wet-pipe and dry-pipe.
 - Rise Room/FDC location.
 - Deluge systems, clean agent systems, foam systems, and pre-action systems.
 - Fire extinguishers, fire hoses, and standpipes.
 - These drawings must establish procedures for construction of the fire protection system design, including water connections to the fire main, sprinkler heads, piping, alarms, valves, etc. The delineation for these drawings must incorporate dimensions, codes, conventions, schedules, diagrams, etc., in describing the fire protection system design.

- Fire alarm plans and risers.
- Drawings must be completely coordinated with other disciplines.

3.4 Engineer's Design Report

3.4.1 Drainage Report

For all projects on Airport property, a drainage report must be submitted. The design report must be in its final format, signed and sealed by a licensed engineer in the state of Texas, and must include, at a minimum, the following data:

- Narrative of work
- Pre- and post-project Runoff Calculations
- Hydrologic and hydraulic calculations addressing mitigation for peak flows, volumes, and velocities
- Floodplain Study identifying the 1% Annual Chance (AC) Ultimate Development (UD) floodplain as mapped by the City. Any impacts to the floodplain shall be identified and fully mitigated to ensure the development will not cause adverse impacts to any property upstream or downstream of the development and will not cause a rise in the 1% AC UD floodplain water surface elevation. The City will issue a floodplain development permit upon receiving and reviewing a signed report from an engineer, licensed to practice in the State of Texas. The report shall consist of all supporting information, data and calculations and shall be accompanied with exhibits to support their 1% AC UD flows and floodplain delineation.

3.4.2 FAA Engineer's Design Report

For projects utilizing federal and/or municipal funding a complete Engineer's Design Report must be submitted. The design report must address how the information gained from the design evolution reviews has been carefully coordinated, cross-referenced, and incorporated into the development design documents, how the development design documents address further developments in design characteristics, code compliance issues, and description of how the design meets or differs from the requirements of the scope of work. The design report must be in its final format, signed and sealed by a licensed engineer in the state of Texas, and must include, at a minimum, the following data:

- Executive summary
- Existing site conditions
- Utilities
- Contractor access and phasing plan
- Airfield and Roadway Geometrics
- Pavement design
 - Airfield pavements must be designed with FAARFIELD, current version.
- Potential coordination conflicts/phasing issues
- Coordination of maintenance and operational issues

- Code report and compliance issues
- Environmental Considerations (SWPPP)
- Delineation of Airport Improvement Program (AIP) Non-Participating Work (Applicable to FAA funded projects)
- Drainage Report
 - Narrative of work
 - Pre- and post-project runoff calculations
 - Hydrologic and hydraulic calculations addressing mitigation for peak flows, volumes, and velocities
 - Floodplain mitigation
- Geotechnical Investigation Report
- Modifications to standards (MOS)

3.5 Specifications

The specifications must be in the final format, signed and sealed by a licensed Professional, registered in the State of Texas, in the most recent edition of the FAA, State, or MasterSpec format and must address all applicable subdivisions and must contain adequate technical information to supplement the drawings to quantify sizes, capacities, and qualify grade, strength, workmanship finishes, and other characteristics of applicable materials and equipment. Provide a list of sole-source items included in the development design documents and provide sole-source justifications for all items not on the pre-approved list.

3.5.1 FAA Specifications Requirements

For project elements utilizing federal and/or municipal funding, these elements must follow the requirements outlined in the most recent edition of the FAA AC 150/5370-10 Standard Specifications for Construction of Airports or TxDOT Specifications for Construction, as applicable, and must contain adequate technical information to supplement the drawings. The specifications must be submitted in final format, with all engineer's edits made.

3.6 General Airport Design Documents

The development design documents must include the following information, if applicable.

- **Texas Department of Licensing and Regulation (TDLR).** Projects with \$50,000.00 worth of pedestrian elements must be registered. Project Registration Confirmation Page <https://www.tdlr.texas.gov/TABS/>
- **Asbestos Survey Report** (for interior renovation or building and/or utilities are demolished)
- **Outdoor Lighting Plan.** Include the location, height, and details of all proposed outdoor lighting. Provide cut sheets or specifications for the lighting that provides fixture and shielding detail. All exterior lighting must be fully shielded and must be included in the 7460-1 submittal to the FAA. A photometric plan may be required by the Airport for review and approval.

- **Landscape Plan**

The designer will be required to provide a landscaping plan for approval by the airport. The landscaping plan must include the information outlined in Section 5.3, Chapter 144 of the City's Code of Ordinances.

Additionally, the landscaping plan must specify the distance from trees or shrubs to airport security fences or airfield pavements.

All trees must be submitted using Form 7460-1 for FAA review.

3.7 Additional FAA Required Documentation

3.7.1 Construction Safety Phasing Plan

In addition to the requirements specified in the City of New Braunfels Construction Plan Set and Report Requirements, a CSPP must be submitted to the FAA for all projects occurring within the Airport's secured area. The CSPP must be submitted through the Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website: <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>

The Designer must coordinate with the Airport regarding all safety and security provisions of the project. Other considerations, depending on the project scope, include temporary modifications to pavement markings, airfield signage, and airfield lights, as well as required special provisions to fit the project. Provisions must be made for and included in all contract documents pertaining to safety during construction, construction sequencing, access to the site, contractor's staging area, haul routes, barricades, fencing, traffic control, etc. Follow AC 150/5370-2 (current edition) Operational Safety on Airports During Construction, which contains how construction may be accomplished within the AOA.

The Designer must refer to the current version of FAA AC 150/5370-2, Operational Safety on Airports During Construction, for the latest CSPP requirements. Below is a summary of some key items included in these requirements:

- CSPP Report
 - The report must be developed in accordance with the guidelines specified in the current version of FAA Advisory Circular (AC) 150/5370-2. Key topics to address are outlined in Section 2.4, 'Meet CSPP Requirements,' of the same Advisory Circular.
- Graphical Representation
 - Construction safety drawings should be included in the CSPP as attachments. Elements that need to be shown in these drawing include, but are not limited, to the following:
 - Existing Conditions.
 - Proposed Improvements.
 - Location of Airport Security Fence.
 - Temporary Modifications to Pavement Markings.
 - Location of Stockpile and Staging Areas.

- Haul Route to Project Area, Outside and Inside Airport Security Fence.
- Construction Access Gate Location.
- Flagger Locations.
- Phasing Plan.
- Construction Work Area.
- Airfield Closure Areas.
- Low-Profile Barricade Location for Airfield Projects.
- Height restrictions of all temporary construction equipment.
- Temporary Lighting, Signage and Airport Users Protection Elements.

3.7.2 FAA Form 7460-1 Notice of Proposed Construction or Alteration

The Designer must obtain FAA clearance for the proposed facility, infrastructure, and/or temporary construction objects for all projects on or near Airport property through the FAA's Obstruction Evaluation Group. Temporary construction objects include, but are not limited to, construction equipment, staging area, haul route, concrete batch plants, and cranes. Refer to **Section 2.2.1 FAA Form 7460-1 Notice of Proposed Construction or Alteration** for more information on how to submit the FAA Form 7460-1.

4 Airport Development Design Standards

The City of New Braunfels reserves the right to designate specific Airport areas in which Commercial and Non-Commercial Aeronautical activities and Services may be conducted. Such designation must consider the nature and extent of the activities, the land and improvements that are available, and the preferred development of the Airport as described in the most recently completed Master Plan, ALP, and/or Land Use Plan.

4.1 Airport Layout Plan

The ALP is a scaled graphic presentation of existing and ultimate airport facilities, as approved by the FAA. Reference is made to FAA AC 150/5070-6 (current edition) for ALP requirements. The ALP is a public document, which serves as a record of land and facility requirements, both present and future, as well as a source document for land use proposals. All proposed development must comply with the ALP. Any such project must be submitted through the Building Official to the FAA to determine if the project follows the ALP or if the ALP can be changed to accommodate the proposed project.

4.2 Site Plans

A site plan must be prepared for all projects. The site plan must delineate all existing and proposed facilities and features, as well as survey property boundaries. The site plan must provide a clear schematic of the intended land use, project or building layout, site and project dimensions, access points, proximity to existing structures, etc. This plan will be used to initiate coordination among the Airport departments, the FAA, and tenants on and adjacent to the site. The site plan is also used to initiate changes to the ALP and to address potential line-of-sight issues. The maximum building or equipment height must be indicated on the site plan prior to determining line-of-sight acceptability. The Site plan must also include dumpster locations, if applicable.

4.3 Building Development Standards

4.3.1 Code Compliance

All structures must comply with the City building codes and airport zoning and land use ordinances. Refer to the City of New Braunfels website for a list of adopted international codes (<https://www.newbraunfels.gov/3436/Building-Code>).

4.3.2 Building Standards

All development must adhere to the standards established in the City of New Braunfels Code of Ordinances, at the time of development.

(https://library.municode.com/tx/new_braunfels/codes/code_of_ordinances)

All construction must be authorized by the City and must comply with all permitting procedures established by the City.

Below is a list of preferred materials for building development. The intent is to provide cohesion and consistency to enhance the visual appeal of the Airport. All proposed materials must be clearly identified in the documents submitted to the Airport for review. The Airport reserves the right to reject any proposed material.

4.3.2.1 Exterior

- Preferred public facing building envelope and exterior materials
 - Engineered Stone
 - Limestone
 - Copper
 - Composite metal panel systems
 - Potential restrictions
 - Materials that produce glare, which could interfere with aircraft operations. Locations of these materials must be closely reviewed with the Airport to avoid creating conflict to aircraft operations.
- Paint colors
 - All exterior paint colors must be reviewed and coordinated with the Airport.
 - Potential restrictions:
 - Metallic colors that may cause reflectivity. Locations of these materials must be closely reviewed with the Airport to avoid creating conflict to aircraft operations.
- Trash receptable location
 - The Designer must refer the New Braunfels National Airport Rules and Regulations Subpart 6.15 for requirements on trash containers.
<https://www.newbraunfels.gov/DocumentCenter/View/34703/Airport-Rules-and-Regulations>
 - If a dumpster containment is built, it must be constructed per specifications set forth in Section 110-58 of the City of New Braunfels code of ordinances. Additionally, it is preferred the structure exterior match the primary facility being built.
 - The Airport has identified locations for providing regional trash services collection points. In lieu of providing site specific trash, Designer may coordinate with the Airport for use of regional facilities. This may result in an additional fee for use of the facility.
- Lighting
 - Lighting requirements must follow the Code of Ordinances.
 - Part 77 height restriction must be reviewed prior to installation of any outdoor lighting.
 - All exterior fixtures must include full cut off housings to prevent pilot glare.
- Photovoltaic (PV) Panels
 - PV Panel locations must be coordinated with the Airport to avoid creating conflict to aircraft operations.
 - Include FAA Glint and Glare analysis as required.

4.3.2.2 Interior

- Preferred flooring
 - Terrazzo tile
 - Porcelain tile
 - Natural/Engineered stone slab
 - Concrete
 - Stone
 - Carpet tile (in non-circulation areas)
- Doors
 - Preferred door finish is painted
 - Door hardware must be commercial grade
 - Designer must coordinate alarm requirements from public to secured areas.
- Preferred wall finishes
 - Stainless steel
 - Natural/Engineered stone slab
 - Porcelain
 - Exposed concrete
 - Wood for accent walls only
 - Gypsum board, painted
- Lighting locations
 - To be coordinated with ceiling grid
- Preferred ceilings
 - Gypsum board, painted
 - Linear metal ceilings
 - Linear wooden ceilings
 - Open to structures

4.3.2.3 Hangar Building Dimensions

A hangar typically consists of three walls, a roof, and a large door and serves to keep parked aircraft out of the elements. Hangars can be built of any size and dimension to meet the needs of the airport, tenant, and aircraft type. If and where there is a conflict in these rules or between rules and the Federal Aviation Rules, the latter takes precedence. See **Table 4-1** below for typical hangar sizes for Group I and II aircraft.

Table 4-1: Typical Hangar Sizes (Group I & II Aircraft)

Hangar Size	Square Footage	Door Height	% of fleet	Sample Aircraft
60x60	3,000	16 feet	~28	Citation CJ2
70x70	4,900	20 feet	~70	Hawker 850
80x80	6,400	24 feet	~84	Falcon 50
100x100	10,000	26 feet	~98	Gulfstream GIV
120x120	14,000	26 feet	~98	Gulfstream GIV

SOURCE: ACRP REPORT 113 GUIDEBOOK ON GENERAL AVIATION FACILITY PLANNING

Below are typical standards for new hangar construction:

- Refer to the Airport Minimum Standards, current edition, for minimum square footage requirements of leased premises. Refer to the City's website for the Airport Minimum Standards file location (<https://newbraunfels.gov/3488/Airport>)
- Hangar to Hangar separation must comply with National Fire Protection Association (NFPA) 409, current version.
- Hangar to Road/parking separation must comply with local building codes and Fire Marshall requirements.
- No structures may be erected beyond the Building Restriction Line (BRL) or in conflict with the approved ALP.
- Hangar to Airfield separation must follow FAA safety areas per FAA AC 150/5300-13, current version, and Part 77 standards.

4.4 Horizontal Development Standards

4.4.1 Code Compliance

All horizontal development must comply with applicable TxDOT or FAA standards.

4.4.2 Airfield Design Standards

The Designer must comply with all current federal requirements for National Airports.

For airfield design, the Designer must adhere to FAA criteria for runways, taxiways, taxilanes, and aprons, covering all design elements, including but not limited to geometrics, pavement design, markings, lighting, and signage. The most common use standards are outlined in the FAA Advisory Circulars (ACs) listed below. The Designer must use the ACs' most current version.

- FAA AC 150/5210-5 – Painting, Marking, and Lighting of Vehicles Used on an Airport
- FAA AC 150/5300-13 – Airport Design
- FAA AC 150/5320-6 – Airport Pavement Design and Evaluation
- FAA AC 150/5335-5 – Standardized Method of Reporting Airport Pavement Strength - PCR
- FAA AC 150/5340-1 – Standards for Airport Markings
- FAA AC 150/5340-26 – Maintenance of Airport Visual Aid Facilities
- FAA AC 150/5370-2 – Operational Safety on Airports During Construction
- FAA AC 150/5370-10 – Standards for Specifying Construction of Airports
- FAA AC 150/5340-18 – Standards for Airport Sign Systems
- FAA AC 150/5340-30 – Design & Installation Details for Airport Visual Aids.
- FAA AC 150/5345-44 – Specification for Runway and Taxiway Signs
- FAA AC 150/5345-46 – Specification for Runway and Taxiway Light Fixtures
- FAA AC 150/5345-53 – Airport Lighting Equipment Certification Program

The Designer must visit the FAA website for the complete list of available FAA ACs.

During design, the Designer must ensure that the airport safety area requirements are met. These requirements are outlined in FAA AC 150/5300-13 Airport design. Key areas to ensure project compliance are the following:

- Building Restriction Line (BRL)
- Obstacle Free Zone (OFZ)
- Runway Object Free Area (ROFA)
- Runway Protection Zone (RPZ)
- Runway Safety Area (RSA)
- Taxiway Object Free Area (TOFA)
- Taxiway Object Free Area (TOFA)
- Taxiway Safety Area (TSA)

4.5 Airport Hazard and Compatible Land Use

4.5.1 Height Restrictions

All construction of improvements and infrastructure must conform to the applicable statutes, ordinances, building codes, rules and regulations of the City and the FAA, and such other authorities as may have jurisdiction over the Airport, the Premises or Service Provider's operations herein.

The height of any structure on the Premises must be within the limits of the FAA regulations governing objects affecting airspace, as set forth in 14 C.F.R., Part 77. The Airport will have the right to review all plans and specifications for any improvements to be constructed on the Premises to determine compliance with such regulations. The approval by the Airport must not constitute a representation or warranty as to such conformity or compliance, but responsibility therefore must always remain with the Service Provider.

Compliance with Part 77 is mandatory. Part 77 protects airspace and navigation from obstructions or interference. Any person/organization who intends to sponsor on-airport construction or construction within 5 miles of an airport must notify the FAA via the FAA Form 7460-1 available on [oeaaa.faa.gov](https://www.faa.gov/oa/oeaaa).

4.5.2 Land Use

Proposed development should be consistent with compatible land use identified in the current approved ALP. If a Designer proposed to change a land use designation, this must be coordinated with the Airport prior to development.

4.5.3 Fire Protection

The City has adopted the 2021 International Fire Code (2021 IFC) with local amendments. Refer to the City of New Braunfels Code of Ordinances Section 54-86 for a full list of all amendments. The Designer must meet aircraft hangar fire suppression requirements in accordance with NFPA 409.

4.6 Site Plan Criteria

The site plan information must be sufficient for the necessary departmental reviews and must include, but not be limited to the following:

- A copy of the signed leased boundary survey for the site, even if the property is owned by the City of New Braunfels, that clearly delineates the exact boundaries of the property, including dimensions and adjacent properties.
- A survey with the site identification number and description.
- A description of the access roads and parking areas to be utilized for non-airport operational vehicles on the site plan.
- Existing and proposed easements for utilities (both public and private). Right-of-way areas and existing utilities on lease sites serving other sites must also be identified and shown on the site plan. Any existing utilities needing to be relocated fall under the sole responsibility of the Designer including the coordination of all easements.
- All hardstands, taxilanes, taxiways, access roads, buildings, and any other operational airport facilities on an area around the property line. Include the exact location, size, and orientation of the proposed building(s) on the site.
- All site paving, parking, site ingress and egress must be shown on the site plan. Show the number, size, and layout of parking spaces, including accessible parking spots. Detail entry and exit points, driveway widths, turning radii, and connections to public roads. Designate pedestrian walkways, crosswalks, and pathways as applicable. Include structural details for the proposed parking and drive isle surfaces.
- Fire lanes and fire hydrant locations must be shown on the site plan and comply with the City of New Braunfels' adopted Fire Code. Due to FAA marking requirements, fire lane markings on the airside may differ slightly from those on the landside; however, they must still be approved by the Fire Department
- A site location map on the sheet drawing containing the site plan.
- A layout of fencing, security gates, and a plan for the separation of vehicles and aircraft.
- Any new facility construction along an airport access roadway must have a minimum set-back distance of 10 ft. from the roadway curb to the structure to allow for public utility easement pathways. All new leases abutting airport access roads must proceed all the way to the curb or the associated right-of-way and all lease holders must maintain pavement, landscaping and aesthetics to the curb while not constructing any structure within the 10ft set-back utility pathway. Leases abutting taxiways or taxilanes must proceed all the way to the Object Free Area (OFA) for that taxiway or taxilane.

4.7 Landscaping

Landscaping on Airport property must minimize wildlife hazards and adhere to best practices outlined in FAA AC 150/5200-33, Hazardous Wildlife Attractants on or Near Airports (current version). This includes avoiding plants and vegetation that may attract hazardous wildlife, such as fruit-bearing trees, seed-producing grasses, or species known to provide food, water, or cover for wildlife. Vegetation should be carefully selected to ensure compatibility with airport safety and operational needs.

Landscaping of facilities visible along public street or roadways is required to align with the City's landscape code for consistency and aesthetics. Plants should be located along public roads or designated green spaces outside the security fence, in areas where they will not obstruct airfield safety zones, flight paths, or affect the operation of airport infrastructure. Plants must be positioned in such a way that they do not encroach on airfield safety areas or in locations where it might compromise safety or encourage wildlife presence, including areas near approach or departure airspace. This includes maintaining clear zones that do not obstruct visibility. Compliance with Part 77 regulations, including the establishment of imaginary surfaces for airspace protection, is mandatory. Any plant that could penetrate these surfaces, even temporarily, is prohibited. Any proposed trees must be approved by the Airport. Planting must occur at least 10 feet from the airport security fence to ensure clear sightlines for security personnel and minimize interference with airport operations.

All plants selected for planting must be native species to the region to align with the City's landscape code for consistency and aesthetics. The Designer shall specify drought-resistant native plant species that require minimal irrigation once established, reducing long-term water use.

Prior to planting, proper ground preparation must be conducted to ensure successful establishment and growth of the native plants. This includes proper grading to ensure that water does not pond around plants or along the security fence, avoiding areas of poor drainage that could lead to plant stress or failure. An efficient and sustainable irrigation system must be installed to support plant growth. Refer to **Section 4.9.4 Irrigation Systems** for requirements.

4.8 Transportation Criteria

While the City follows TxDOT's Roadway Design Guide as the primary document for geometric design of street facilities; the City still maintains standard details as linked below. Should items be specified that are not covered by the City standard details, TxDOT standard details should be used.

- Airport Road Standards
 - <https://www.newbraunfels.gov/DocumentCenter/View/33271/ST-007>
- Curb and Gutter
 - [https://www.newbraunfels.gov/DocumentCenter/View/1081/ST-013-Curb-- Gutter?bidId=4](https://www.newbraunfels.gov/DocumentCenter/View/1081/ST-013-Curb--Gutter?bidId=4)
- Airport Driveway Standards - Follow City of New Braunfels Standard:
 - [https://www.newbraunfels.gov/DocumentCenter/View/1084/ST-0151-Driveway- Commercial---Multi-Family---Industrial?bidId=](https://www.newbraunfels.gov/DocumentCenter/View/1084/ST-0151-Driveway-Commercial---Multi-Family---Industrial?bidId=)

4.8.1 Pavement Design Requirements

Airfield pavement design must meet the requirements outlined in the current version of FAA AC 150/5320-6. The Designer must include a signed and sealed pavement design in the engineer's report. Landside pavements and vehicle service roads that do not intersect with aprons or taxiways must adhere to City standards as described in **Section 4.8 Transportation Criteria**.

4.8.2 Parking Lot Requirements

Refer to **Table 4-2** for recommended vehicle spaces based on the facility type. The Designer may submit a variance if recommended parking is not applicable for the type of operation proposed at the Airport.

General requirements of space sizes and dimensions can be found in the City of New Braunfels Code of Ordinances Sec. 144-5.1. Federal ADA and Texas Accessibility Standard (TAS) requirements will apply to the parking lot requirements. Parking inside hangars does not count toward parking requirements.

Table 4-2: Recommended Number of Vehicle Spaces per Facility Type

Facility Type	Vehicle Spaces Requirements	Minimum Vehicle Spaces
Storage Hangar	1 space per 2,000 SF of hangar floor space	3 spaces
T-Hangar	1 space for 50% of units	
Maintenance/Paint Hangar	1 space per 1,000 SF of hangar floor space 1 per 750 SF of maintenance/shop space	5 spaces
Corporate/Executive Hangar	1 space per 2,000 SF of hangar floor space 1 space per 200 SF of office space	3 spaces
Based Aircraft Apron	1 space for 50% of based tie-down spaces	

SOURCE: ACRP REPORT 113 – GUIDEBOOK ON GENERAL AVIATION FACILITY PLANNING WITH CITY OF NEW BRAUNFELS MODIFICATIONS

For non-aeronautical use facility parking requirements refer to the City of New Braunfels Code of Ordinances Sec. 144-5.1.

4.8.3 Traffic Impact Analysis Requirements

A Traffic Impact Analysis (TIA) worksheet or study is required for all landside development projects that will generate and distribute vehicular traffic along the Airport's roadway network.

The TIA worksheet can be found in the City's website ([Traffic Impact Analysis | New Braunfels, TX - Official Website](#)).

4.8.4 Authorized Signs

No signs, equipment, portable buildings or house trailers may be erected, moved in or installed on the Airport property except as may be specifically authorized by the Airport.

4.9 Utilities Criteria

4.9.1 General Design Criteria

4.9.1.1 Purpose and Scope

Sections 4.9.1, 4.9.2, 4.9.3, 4.9.4, 4.9.5, and 4.9.6 of this manual are to be used by engineering professionals for use in design and construction of water and wastewater systems owned and operated by the Airport.

This technical resource is not intended to substitute for any professional engineering judgement by the designer who will assume ultimate responsibility for selection, reference, and appropriate application of the utility sections.

4.9.2 Water Utility Distribution

The Airport's water utility system is within the NBU jurisdiction; and as such, water utility system design must conform to the most recent version of the NBU's Water and Wastewater Design Criteria manual. Additionally, water distribution mains must be designed in conformance with "30 TAC §290: Public Drinking Water", as enforced by TCEQ, Latest Edition, and with all applicable laws, regulations, codes, and standards.

4.9.3 Use of Reclaimed Water

The Airport's water utility system is within the NBU jurisdiction; and as such, reclaimed water utility system design must conform to the most recent version of the NBU's Water and Wastewater Design Criteria manual. Additionally, any use of reclaimed water must be designed in conformance with "30 TAC §210: Use of Reclaimed Water", as enforced by Texas Commission on Environmental Quality (TCEQ), Latest Edition, and with all applicable laws, regulations, codes, and standards.

4.9.4 Irrigation Systems

The Airport's water and reclaimed water utility system is within the NBU jurisdiction; and as such, irrigation design must conform to the most recent version of the NBU's Water and Wastewater Design Criteria manual. Additionally, any use of reclaimed water must be designed in conformance with "30 TAC §344: Landscape Irrigation", as enforced by TCEQ, Latest Edition, and with all applicable laws, regulations, codes, and standards.

4.9.5 Sanitary Sewage Utilities

The Airport's sanitary sewer utility system is within the NBU jurisdiction; and as such, sanitary sewer utility system design must conform to the most recent version of the NBU's Water and Wastewater Design Criteria manual. Additionally, all new connections and modifications must be in accordance with "30 TAC §217: Design Criteria for Domestic Wastewater Systems".

4.9.6 Drainage Criteria

Airport drainage will adhere to the most recent revision of the City of New Braunfels Drainage and

Erosion Control Design Manual (Refer to City of New Braunfels Drainage Criteria Manual 2.3.1) in addition to this section.

1. The Designer must provide calculations showing the ponding limits within the airfield during a 5-year storm event does not encroach on the taxiway and runway pavements, including paved shoulders, and that the ponding will be limited around an apron inlet such that the ponding depth does not exceed 4 inches.
2. The Designer must provide calculations showing the center fifty percent of runways and the center fifty percent of taxiways serving these runways must be free from ponding resulting from storms of a 10-year frequency.

3. The headwater depth ratio for all culverts during the 25-year storm event must not exceed 1.25:

$$\frac{HW}{D} \leq 1.25$$

where,

HW = Headwater Depth, in feet

D = Depth of box culvert or diameter of pipe, in feet

4. If open-grate drainage trenches are used as a collection means for runoff from fueling aprons, such open trenches, including branches, must not be over 125 feet in length with a minimum interval of 6 feet between open-trench sections to act as fire stops. Each 125 feet section must be individually drained through underground piping. Open trenches must not be used where they are in the line of pedestrian or passenger traffic.

For design frequencies and freeboard requirements, refer to City of New Braunfels Drainage and Erosion Control Design Manual (DECDM), Table 2-2. The designer should also refer to Chapter 3, Table 3-1 of the DECDM for runoff calculations based on the NOAA Atlas 14 precipitation study.

The elevation of the lowest finished floor must be elevated 10 inches above the finished grade of the surrounding ground as prescribed in the building regulations and Code of Ordinances. Finished grades must be sloped to direct stormwater away from the structure. Developments adjacent to stormwater conveyance structures must be elevated 12 inches above the 100-year hydraulic grade line (in the conveyance structure) to the same elevation that a development adjacent to a 100-year floodplain would be required to meet.

If a development activity changes stormwater runoff characteristics in a manner that creates a point or points of concentrated flow, where previously there was sheet flow or lesser intensity flow pattern, or any increase in discharge rates or velocities for the 2, 10, 25 and 100-year frequency storms, the flow must outfall into right-of-way or drainage easement that has the capacity for the discharge. An impact analysis is required to verify the capacity and/or required size of the downstream facility clearly demonstrating no adverse impact and/or no rise.

4.10 Environmental Considerations

The Designer must evaluate available resources to identify potential environmental issues, including possible soil or groundwater contamination, during the preliminary design phase of any utility and earth-disturbing projects.

During its operations at the airport, the Designer must strictly comply with all applicable environmental laws, airport environmental policies and procedures, and generally accepted industry environmental best management practices and standards, including adherence to the TCEQ's "Stormwater General Permit for Construction Activities, TXR150000". Without limiting the generality of the foregoing provision, the Designer must not use or store hazardous materials on or at the airport except as reasonably necessary in the ordinary course of Designer's permitted activities at the airport, and then only if such hazardous materials are properly labeled and contained. The Designer must not discharge, release, or dispose of any hazardous materials on the airport or surrounding air, land, or water. The Designer must promptly notify the City of New Braunfels of any hazardous material spills, releases, or other discharges by the Designer at the airport and promptly abate, remediate, and remove the same. The Designer must provide the City of New Braunfels with copies of all reports, complaints, claims, citations, demands, inquiries, or notices relating to the environmental condition of the airport, or any alleged material noncompliance with environmental laws by the Designer at the Airport within ten (10) days after such documents are generated by or received by the Designer. If the Designer uses, handles, treats, or stores hazardous materials at the Airport, the Designer must have a contract in place with an Environmental Protection Agency or the TCEQ approved waste transport or disposal company, and must identify and retain spill response contractors to assist with spill response and facilitate waste characterization, transport and disposal. Complete records of all disposal manifests, receipts and other documentation must be retained by the Designer and made available to the City of New Braunfels for review upon request.

The Service Provider is solely responsible for its hazardous materials. It must assume full liability for all environmental claims resulting from or related to its use, handling, treatment, storage, disposal, discharge, or transportation of hazardous materials at the airport. This includes claims arising from violations of environmental laws or failure to comply with the terms of this article. If the City of New Braunfels incurs any costs or expenses (including attorney, consultant, and expert witness fees) due to the Service Provider's hazardous materials activities, the Service Provider must promptly reimburse the City upon demand. Additionally, the Service Provider is responsible for all reporting obligations under environmental laws regarding spills, releases, or discharges of hazardous materials at the airport. The Designer must coordinate with the Airport and comply with the Spill Prevention Control and Countermeasure (SPCC) plan.

The Designer must adhere to United States EPA and TCEQ rules and regulations for per- and polyfluoroalkyl substances (PFAS).

Underground fuel tanks are not permitted on Airport property. For any above-ground fuel tanks, the Designer must coordinate with the TCEQ and the Airport before installation.

4.10.1 Sustainability

The Designer must adhere to the FAA sustainability plan.

- Solar Panels
 - The Designer must submit a request to the Airport including an ocular analysis of potential impacts to ATCT cabs that must be conducted to ensure that a proposed solar energy system will not result in ocular impacts.
- Water Conservation Efforts
 - Rainwater collection is permitted, provided the collection method does not create a wildlife hazard and the recycled water is designed to meet applicable TAC standards and requirements.

4.10.2 National Environmental Policy Act

The Designer must submit to the Airport the necessary documentation to allow the FAA to make a determination regarding FAA approval authority under Section 743 of the FAA Reauthorization Act of 2024. If the FAA determines that they do not have approval authority, no NEPA documentation would be required. If the FAA determines that they do have approval authority, then the Designer must work with the Airport to prepare and submit appropriate NEPA documentation for the project. Refer to NEPA's website for more information on the NEPA Review Process (<https://www.epa.gov/nepa>).

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Appendix A – Permit Checklist

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CHECKLIST FOR AIRPORT BUILDINGS DEVELOPMENT PERMIT SUBMITTALS

This Checklist is intended for all Building projects designed and constructed within the New Braunfels National Airport property line. This page is intended as a guide and may not be completely exhaustive of all requirements. Please see the following pages for detailed information. If you have any questions, please feel free to contact the appropriate reviewing division listed on page 3. For non-applicable items, denote N/A on the check line.

1. _____ Completed **Building Permit** Application
2. _____ Upload a **complete set of plans in PDF form** for review to include the following:
 - All plans must be submitted in a clear and legible format.
 - All plans must be signed and sealed by an Architect or Professional Engineer licensed in Texas.
 - All plans shall be drawn to scale, dimensioned, noted, clear and legible
 - a. _____ **Cover Sheet** w/Code Analysis, Type of Construction, Occupancy Classification, Fire Protection System, Allowable Area, etc.
 - b. _____ **Architectural Plan**
 - c. _____ **ADA Plan** w/Elevations
 - d. _____ **Horizontal Site Plan** w/Required Parking Calculations and Landscape Plan
 - e. _____ **Structural Plan**
 - f. _____ **Mechanical Plan**
 - g. _____ **Plumbing Plan**
 - h. _____ **Electrical Plan**
 - i. _____ **Communications and Security Plan**
 - j. _____ **Fire Protection site/floor Plan** specific site plan w/ fire lanes (New or existing), Hydrant locations, fire protection systems noted (alarm/sprinkler), riser room/FDC location (if applicable), exterior/interior doors, floor plan, etc. Plan provided will be used to determine if the permit meets applicable 2021 (or current version as noted in the City Website) IFC requirements specific to Fire Department review.
 - k. _____ **Special Inspections Form (If required)**
 - l. _____ **Traffic Control Plan (MOT) (If required)**
 - m. _____ **Construction Safety Phasing Plan (If required and approved by Airport)** (See page 4)
 - n. _____ **Any additional information related to the proposed development.**
3. _____ Upload a **complete set of technical specifications**.
4. _____ Upload the **Engineer's Design and Drainage Report**. Report must be signed and sealed by a Texas licensed Engineer. (See pg. 4)
5. _____ Signed Lease Boundary
6. _____ **Area of Construction is in the Approved Airport Layout Plan (ALP)** Yes _____ No _____
7. _____ **Texas Department of Licensing and Regulation (TDLR)**. If required projects over \$50,000.00 must be registered. Project Registration Confirmation Page <https://www.tdlr.texas.gov/TABS/>
8. _____ **Asbestos Survey Report** (if a building is remodeled or demolished or utilities are demolished)
9. _____ **COMcheck Compliance Certificate** to include Envelope, Mechanical, Lighting, www.energycodes.gov (2021 IECC or current version as noted in the City Website)
10. _____ **Engineered Foundation Plan for new construction and addition over 500 sq ft** (or attach driveway, sidewalk, or foundation standard that is going to be used) **Engineered foundation letter** on Engineer's letterhead (New Construction/Additions over 500 sq ft)

11. _____ **Landscape Plan** (See pg. 7 – Permits will not be issued without Planning Division approval)
12. _____ **Environmental Health Division requirements:** Food service **menu** to be provided for all occupancies offering food or beverages, including alcohol. (See page 5)
13. _____ **Utility Vendors** This permit or application for permit does not relieve the applicant from any construction requirements that may need to be addressed with the Utility Vendor. Failure to comply with utility vendors standards may result in non-compliance and would have to be corrected at the applicant's expense. Please contact your utility vendor prior to construction.

Utility Vendors for the New Braunfels Area	
New Braunfels Utility	(830) 629-8400

14. _____ **Federal Aviation Administration (FAA) Notice of Proposed Construction or Alteration.** Upload the FAA determination letter from the agency's Obstruction Evaluation Group (See pg. 8)
15. _____ **FAA National Environmental Policy Act (NEPA) Documentation**
16. _____ **Traffic Impact Analysis (TIA) Approval and Worksheet.** *(Refer to Section 4.8.3 in the Airport DDSM)*
17. _____ **Airport Concurrence.** Submit Airport concurrence letter. *(Refer to Section 2.2.2 in the Airport DDSM)*
18. _____ **Variances.** Denote any variances from the Airport Design and Development Standards Manual

If any of the above listed information is not included with the Building Permit Application, application may be returned to the Contractor and/or Design Professional and may not be accepted until all information is resubmitted.

THE FOLLOWING PAGES CONTAIN DETAILED CHECKLISTS WHICH WILL ASSIST COSTUMERS TO PROVIDE ALL REQUIRED DOCUMENTATION ON FIRST SUBMISSION.

IF YOU HAVE ANY QUESTIONS, FEEL FREE TO CONTACT THE REVIEWING DIVISIONS LISTED BELOW:

- | | |
|----------------------------------|-----------------------|
| • BUILDING DIVISION | Phone: (830) 221-4041 |
| • ENGINEERING DIVISION | Phone: (830) 221-4275 |
| • ENVIRONMENTAL HEALTH DIVISION | Phone: (830) 221-4041 |
| • FIRE DIVISION | Phone: (830) 221-4200 |
| • PLANNING DIVISION | Phone: (830) 221-4041 |
| • NEW BRAUNFELS NATIONAL AIRPORT | Phone: (830) 221-4290 |

ENGINEERING DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Submittal items required (signed and sealed by a Texas licensed professional engineer) but not limited to:

Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>		Drainage Report <i>(Refer to Section 3.4.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Engineer's Report <i>(Refer to Section 3.4 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>		Specifications <i>(Refer to Section 3.5 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>		Driveway, Sidewalk, Airfield, Airport Security Fence, and Drainage Details, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Safety Phasing Plan (CSPP). <i>(Refer to Section 3.7.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Site and Grading Plan with Dimension Control <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Drainage Plan and Profile. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pre-Development and Post-Development Drainage Area Maps. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Utility Plan and Profile. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Detention Plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Pollution Prevention Plan and soil erosion and sediment control plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Traffic Impact Analysis (TIA) Approval and Worksheet. <i>(Refer to Section 4.8.3 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	New Braunfels Utilities (NBU) Approval
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Texas Department of Transportation (TXDOT) driveway and drainage permit approval for projects on State roads (FM 758).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trash receptacle locations. <i>[Ref. Sec. 110-58]</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Airfield Lighting and Signage Plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Plan Checklist signed by design engineer (available on City's Engineering website).

Comment:

- (1) All requested documents are to be included as part of the completed design documents submitted for permit application.

ENVIRONMENTAL HEALTH DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Commercial Permit: List of Health Division Food Service Requirements:

Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Intended food service menu.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing schematics/layout (grease waste vs. sanitary waste delineation, grease trap sizing, water heater sizing, sample well). Clearly identify screening requirements of MEP equipment.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Kitchen floor plan (equipment layout, interior and exterior seating, interior finish schedule)

Commercial Sewage Disposal Requirements: (check applicable)

- Method of sewage disposal to be utilized:

____ New Braunfels Utilities (NBU)
____ Other Publicly Operated Treatment Works (POTW)
____ Private On-Site Septic System

- Does this property currently contain an existing operating on-site septic system?

Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Does this project intend to connect to the existing operating on-site septic system? (Instead of developing a new system)

Yes	No	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PLEASE NOTE: All activity related to the installation, alteration, extension, or repairs of a septic system, including disturbing the soils through such connections, requires prior approval and permitting through the TCEQ Designated Agent, i.e., City of New Braunfels Environmental Health Division at (830) 221-4070.

FIRE DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Occupant load for Assembly uses.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hydrant locations and distance from buildings.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire wall/barrier listings.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire lanes as required per the International Fire Code.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hose Pull from Fire Apparatus Road (IFC Section 503.1.1)

☐☐☐

Fire sprinkler/alarm as required per the International Fire Code.

☐☐☐

Fuel spill containment per the National Fire Protection Association (NFPA) code if there is fueling on the ramp.

PLANNING DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Yes No N/A

[References are to the New Braunfels Code of Ordinances or Airport DDSM]

☐☐☐

Zoning. State district: _____ (e.g., C-1, C-2A, etc.)

☐☐☐

Legal Description, including Lot and Block number, name of Subdivision and Unit number, if applicable. If the property has not been platted, provide documentation (legal deed of record) that it has existed in its current configuration since prior to January 23, 1984.

☐☐☐

Site Plan, (scaled and dimensioned) to include the following information:

- A. Building Setbacks – front, side, and rear. Corner and residential adjacency setbacks as required. *[Airport DDSM]*
- B. Lot dimensions.
- C. All easements.
- D. Dumpster and outside trash receptacle areas.
- E. Locations of all existing and proposed structures with distances between structures.
- F. Gross Floor Area (GFA) of all existing and proposed structures with a summary table that details the area of each use. (example below, required for parking and Roadway Impact Fee calculation)

Use Summary (example)		
	Use	Area
Existing Use	Storage Hangar	8,000 sq. f.t
Proposed Use	Storage Hangar	10,000 sq. ft.
Total		2,000 sq. ft.

- G. Driveway approach detail, including flares/radii, with and spacing between driveways and distance from intersection. *[Ref. Sec.114-98 (d) and (f), Chapter 114]*
- H. Location and width of sidewalks.
- I. Location and dimensions of airfield pavements.
- J. Dimensions from Airport Security fence to building.

☐☐☐

Elevation Plan, (scaled and dimensioned) to include the following information: *[Ref. Sec. 5.22, Chapter 144]*

- A. Height of structure.
- B. Building design elements.
- C. Roof treatment/type.
- D. Entryway.
- E. Customer entrance treatment and pedestrian route (for buildings over 60,000 sq. ft.)
- F. Details and calculations of horizontal and vertical articulation for facades facing a public street, as required.

- G. Exterior building material summary table with details of the proposed exterior finish (example below):

Exterior Finish Summary (example)			
Material	Location	Area	Percentage
Stone	4' wainscot	1,000 sq. ft.	42%
Stucco	Front, side, rear walls	1,000 sq. ft.	42%
Metal	Decorative elements	400 sq. ft.	16%
Total		2,400 sq. ft.	100%

Landscape Plan, (scaled and dimensioned) to include the following information: [Ref. Airport DDSM]

- Plans must be drawn to readable scale.
- Location, size, and common name of existing trees that are greater than or equal to an eight-inch diameter measured 4 ½' above the ground, except those listed in Appendix B. Any tree which is proposed to be saved as credit for the landscaping requirements in this Article shall also be marked and shown.
- Location, size (container size, planted height, etc.) and common name of all trees and shrubs to be planted as part of the landscape plan.
- Trees and shrubs height. All trees and shrubs must be included in FAA's determination letter.
- Landscape Summary Table (example below)

Landscape Summary (example)			
Type	Common Name	Size	Number
Street shade tree	Red oak	3"	2
Street shrub	Red yucca	5 gallon	5

- Location and design of all landscaping materials to be used, including paving, screens, earthen berms and ponds.
- Spacing of plant material where appropriate.
- Trees and shrubs distance to airport security fence or airfield pavements.
- Site distance and visibility triangles.
- Layout and description of irrigation, hose bibs, or water systems including location of water sources.
- Description of maintenance provisions.
- Name, address and email of the person(s) responsible for the preparation of the landscape plan including the name and address of the project.
- North arrow/symbol.
- A legible location map showing where the property is located.
- Fences/boundary walls by height and material and any other screening devices or vegetation, including fence clearance per TSA requirements.
- Date of the landscape plan.
- Tree protection plan. [Ref. Sec. 5.3-1(c)]
- Please note: a separate tree removal permit must be submitted to the Planning Division if there are any protected trees that are to be removed from the property.

Parking Plan, (scaled and dimensioned) to include the following information: [Ref. Sec. 5.1, Chapter 144]

- Parking space dimensions and slopes.

- B. Maneuvering space dimensions.
- C. Marked accessible spaces including van accessible.
- D. Distance from parking spaces to Airport Security Fence.
- E. Drive through facility subject to additional standards. *[Ref. Sec. 5.2, Chapter 144]*
- F. Parking summary table with the following minimum information (example below):
 - 1. Existing and proposed use(s) on the property and the minimum number of required spaces with calculation detail.
 - 2. Total number of parking spaces proposed on the property.

Parking Summary (example)				
	Use	Area	Ratio	# of spaces
Parking required for existing development	Storage Hangar	8,000 sq.ft.	1/2,000	4
Parking required for proposed development	Storage Hangar	10,000 sq.ft.	1/2,000	5
Total Requirement				9
Total Provided				9

☐ ☐ ☐

Elevation certificate/flood proof certificate, if property is located in a flood plain. *[Ref. Chapter 58, Floods]*

☐ ☐ ☐

Flood Study, if property is located in a flood way.

☐ ☐ ☐

FAA Requirements *(Refer to Section 3.7 in the Airport DDSM)*

☐ ☐ ☐

Outdoor Lighting Plan. Include the location, height, and details of all proposed outdoor lighting. Provide cut sheets or specifications for the lighting that provides fixture and shielding detail. A photometric plan may be required by the Airport for review and approval. All exterior lighting must be fully shielded and shall not trespass onto Part 77. *[Ref. Sec. 5.3-3, Chapter 144]*

I, the undersigned, have verified that all required information is submitted with the Building Permit Application.

Signature of Applicant

Date of Filing

Permit Technician



CHECKLIST FOR AIRPORT HORIZONTAL DEVELOPMENT PERMIT SUBMITTALS

This Checklist is intended for all horizontal civil projects designed and constructed within the New Braunfels National Airport property line. This page is intended as a guide and may not be completely exhaustive of all requirements. Please see the following pages for detailed information. If you have any questions, please feel free to contact the appropriate reviewing division listed on page 3. For non-applicable items, denote N/A on the check line.

1. _____ Completed **Engineering Infrastructure Construction** Application
2. _____ Completed **Building Permit** Application
3. _____ Upload a **complete set of plans in PDF form** for review to include at the minimum the following:
 - All plans must be submitted in a clear and legible format.
 - All plans must be signed and sealed by a Professional Engineer licensed in Texas.
 - All plans shall be drawn to scale, dimensioned, noted, clear and legible
 - a. _____ **Cover Sheet**
 - b. _____ **Horizontal Site Development Plan** w/Required Parking Calculations and Landscape Plan
 - c. _____ **ADA Plan** w/Elevations (if required)
 - d. _____ **Traffic Control Plan (MOT)** (If required)
 - e. _____ **Construction Safety Phasing Plan (If required and approved by Airport)** (See page 4)
 - f. _____ **Any additional information related to the proposed development.**
4. _____ Upload a **complete set of technical specifications.**
5. _____ Signed Lease Boundary
6. _____ Upload the **Engineer's Design and Drainage Report**. Report must be signed and sealed by a Texas licensed Engineer. (1 copy - See pg. 4)
7. _____ **Area of Construction is in the Approved Airport Layout Plan (ALP) Yes _____ No _____**
8. _____ **Texas Department of Licensing and Regulation (TDLR)**. If required projects over \$50,000.00 must be registered. Project Registration Confirmation Page <https://www.tdlr.texas.gov/TABS/>
9. _____ **Asbestos Survey Report** (if a building is remodeled or demolished or utilities are demolished)
10. _____ **Landscape Plan** (See pg. 5 – Permits will not be issued without Planning Division approval)
11. _____ **Utility Vendors** This permit or application for permit does not relieve the applicant from any construction requirements that may need to be addressed with the Utility Vendor. Failure to comply with utility vendors standards may result in non-compliance and would have to be corrected at the applicant's expense. Please contact your utility vendor prior to construction.

Utility Vendors for the New Braunfels Area	
New Braunfels Utility	(830) 629-8400

12. _____ **Federal Aviation Administration (FAA) Notice of Proposed Construction or Alteration**. Upload the FAA determination letter from the agency's Obstruction Evaluation Group (See pg. 6)

13. _____ **FAA National Environmental Policy Act (NEPA) Documentation**
14. _____ **Traffic Impact Analysis (TIA) Approval and Worksheet.** *(Refer to Section 4.8.3 in the Airport DDSM)*
15. _____ **Airport Concurrence.** Submit Airport concurrence letter. *(Refer to Section 2.2.2 in the Airport DDSM)*
16. _____ **Variances.** Denote any variances from the Airport Design and Development Standards Manual

If any of the above listed information is not included with the Building Permit Application, application may be returned to the Contractor and/or Design Professional and may not be accepted until all information is resubmitted.

THE FOLLOWING PAGES CONTAIN DETAILED CHECKLISTS WHICH WILL ASSIST COSTUMERS TO PROVIDE ALL REQUIRED DOCUMENTATION ON FIRST SUBMISSION.

IF YOU HAVE ANY QUESTIONS, FEEL FREE TO CONTACT THE REVIEWING DIVISIONS LISTED BELOW:

- | | |
|----------------------------------|-----------------------|
| • BUILDING DIVISION | Phone: (830) 221-4041 |
| • ENGINEERING DIVISION | Phone: (830) 221-4275 |
| • ENVIRONMENTAL HEALTH DIVISION | Phone: (830) 221-4041 |
| • FIRE DIVISION | Phone: (830) 221-4200 |
| • PLANNING DIVISION | Phone: (830) 221-4041 |
| • NEW BRAUNFELS NATIONAL AIRPORT | Phone: (830) 221-4290 |

ENGINEERING DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Submittal items required (signed and sealed by a Texas licensed professional engineer) but not limited to:

Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>		Drainage Report <i>(Refer to Section 3.4.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Engineer's Report <i>(Refer to Section 3.4 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>		Specifications <i>(Refer to Section 3.5 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>		Driveway, Sidewalk, Airfield, Airport Security Fence, and Drainage Details, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Safety Phasing Plan (CSPP). <i>(Refer to Section 3.7.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Site and Grading Plan with Dimension Control <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Drainage Plan and Profile. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pre-Development and Post-Development Drainage Area Maps. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Utility Plan and Profile. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Detention Plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Pollution Prevention Plan and soil erosion and sediment control plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Traffic Impact Analysis (TIA) Approval and Worksheet. <i>(Refer to Section 4.8.3 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	New Braunfels Utilities (NBU) Approval
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Texas Department of Transportation (TXDOT) driveway and drainage permit approval for projects on State roads (FM 758).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trash receptacle locations. <i>(Ref. Sec. 110-58)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed Airfield Lighting and Signage Plan. <i>(Refer to Section 3.2.1 in the Airport DDSM)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Plan Checklist signed by design engineer (available on City's Engineering website).

Comment:

- (1) All requested documents are to be included as part of the completed construction plans submitted for permit application.

PLANNING DIVISION

AIRPORT PERMIT INFORMATION REQUIREMENTS

Yes No N/A

[References are to the New Braunfels Code of Ordinances or Airport DDSM]

☐ ☐ ☐

Zoning. State district: _____ (e.g., C-1, C-2A, etc.)

☐ ☐ ☐

Legal Description, including Lot and Block number, name of Subdivision and Unit number, if applicable. If the property has not been platted, provide documentation (legal deed of record) that it has existed in its current configuration since prior to January 23, 1984.

☐ ☐ ☐

Site Plan, (scaled and dimensioned) to include the following information:

- A. Lot dimensions.
- B. All easements.
- C. Locations of all existing and proposed structures with distances between structures.
- D. Driveway approach detail, including flares/radii, with and spacing between driveways and distance from intersection. *[Ref. Sec.114-98 (d) and (f), Chapter 114]*
- E. Location and width of sidewalks.
- F. Dimensions from Airport Security fence to building.

☐ ☐ ☐

Landscape Plan, (scaled and dimensioned) to include the following information: *[Ref. Airport DDSM]*

- A. Plans must be drawn to readable scale.
- B. Location, size, and common name of existing trees that are greater than or equal to an eight-inch diameter measured 4 ½' above the ground, except those listed in Appendix B. Any tree which is proposed to be saved as credit for the landscaping requirements in this Article shall also be marked and shown.
- C. Location, size (container size, planted height, etc.) and common name of all trees and shrubs to be planted as part of the landscape plan.
- D. Trees and shrubs height. All trees and shrubs must be included in FAA's determination letter.
- E. Landscape Summary Table (example below)

Landscape Summary (example)			
Type	Common Name	Size	Number
Street shade tree	Red oak	3"	2
Street shrub	Red yucca	5 gallon	5

- F. Location and design of all landscaping materials to be used, including paving, screens, earthen berms and ponds.
- G. Spacing of plant material where appropriate.
- H. Trees and shrubs distance to airport security fence or airfield pavements.
- I. Site distance and visibility triangles.
- J. Layout and description of irrigation, hose bibs, or water systems including location of water sources.
- K. Description of maintenance provisions.
- L. Name, address and email of the person(s) responsible for the preparation of the landscape plan including the name and address of the project.
- M. North arrow/symbol.
- N. A legible location map showing where the property is located.
- O. Fences/boundary walls by height and material and any other screening devices or vegetation, including fence clearance per TSA requirements.

- P. Date of the landscape plan.
- Q. Tree protection plan. [Ref. Sec. 5.3-1(c)]
- R. *Please note: a separate tree removal permit must be submitted to the Planning Division if there are any protected trees that are to be removed from the property.*

☐ ☐ ☐

Parking Plan, (scaled and dimensioned) to include the following information: [Ref. Sec. 5.1, Chapter 144]

- A. Parking space dimensions and slopes.
- B. Maneuvering space dimensions.
- C. Marked accessible spaces including van accessible.
- D. Distance from parking spaces to Airport Security Fence.
- E. Drive through facility subject to additional standards. [Ref. Sec. 5.2, Chapter 144]
- F. Parking summary table with the following minimum information (example below):
1. Existing and proposed use(s) on the property and the minimum number of required spaces with calculation detail.
 2. Total number of parking spaces proposed on the property.

Parking Summary (example)				
	Use	Area	Ratio	# of spaces
Parking required for existing development	Storage Hangar	8,000 sq.ft.	1/2,000	4
Parking required for proposed development	Storage Hangar	10,000 sq.ft.	1/2,000	5
Total Requirement				9
Total Provided				9

☐ ☐ ☐

Elevation certificate/flood proof certificate, if property is located in a flood plain. [Ref. Chapter 58, Floods]

☐ ☐ ☐

Flood Study, if property is located in a flood way.

☐ ☐ ☐

FAA Requirements (Refer to Section 3.7 in the Airport DDSM)

☐ ☐ ☐

Outdoor Lighting Plan. Include the location, height, and details of all proposed outdoor lighting. Provide cut sheets or specifications for the lighting that provides fixture and shielding detail. All exterior lighting must be fully shielded and must not trespass onto Part 77. [Ref. Sec. 5.3-3, Chapter 144]

I, the undersigned, have verified that all required information is submitted with the Building Permit Application.

Signature of Applicant

Date of Filing

Permit Technician

Appendix B – Project Closeout Checklist

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CHECKLIST FOR AIRPORT DEVELOPMENT PROJECT CLOSEOUT SUBMITTAL

This Checklist is intended for all projects constructed within the New Braunfels National Airport property line. This page serves as a guide and may not be completely exhaustive of all requirements. Please coordinate with the Airport for project specific questions. For non-applicable items, denote N/A on the check line.

1. _____ Set of Record Drawings in CAD and PDF format
2. _____ As-Built survey data in CAD and native format
3. _____ Certificate of Completion
4. _____ Testing and Commissioning Reports (if required)
5. _____ Project Operation and Maintenance (O&M) Manual(s) (if required)
6. _____ Final Hardware Schedule (if required)
7. _____ Owner Training of Systems, Subsystems, and/or Equipment
8. _____ Airport Diagram Update (if required, Designer must coordinate update with Airport)
9. _____ Airport Layout Plan Update (if required, Designer must coordinate update with Airport)
10. _____ Closeout Documents as required in the Contract Documents (For federal funded projects refer to
FAA General Provisions Section 90-11 Contractor Final Project Documentation)

I, the undersigned, have verified that all required information has been submitted to the New Braunfels National Airport.

Signature of Applicant

Date of Filing

Airport Representative

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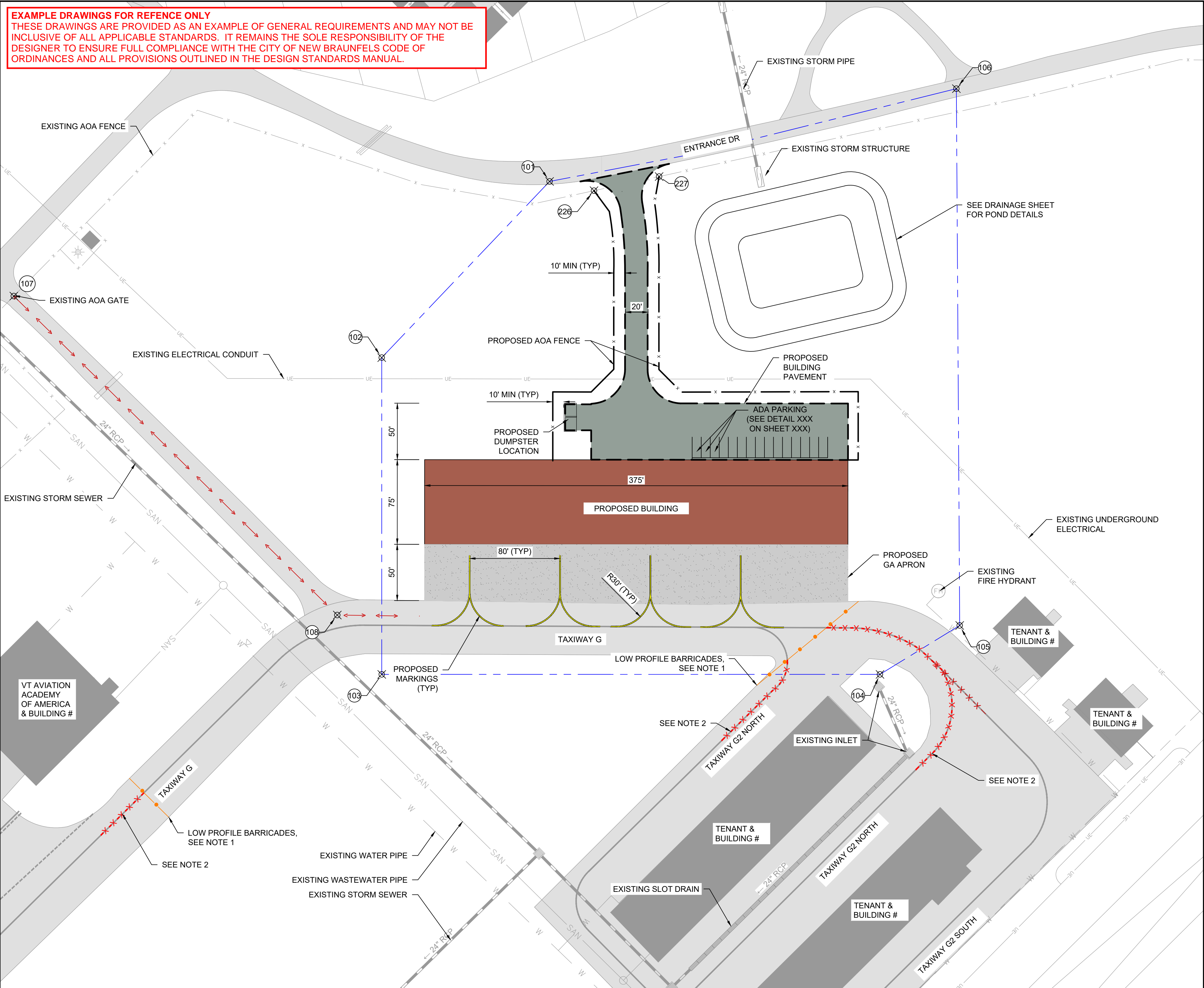
Appendix C – Example Drawings

NOTICE
















Example Drawings are for reference only. These drawings serve as an example of general requirements and may not be inclusive of all applicable standards. It remains the sole responsibility of the designer to ensure full compliance with the City of New Braunfels Code of Ordinances and all provisions outlined in the Design Standards Manual.

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EXAMPLE DRAWINGS FOR REFERENCE ONLY
THESE DRAWINGS ARE PROVIDED AS AN EXAMPLE OF GENERAL REQUIREMENTS AND MAY NOT BE INCLUSIVE OF ALL APPLICABLE STANDARDS. IT REMAINS THE SOLE RESPONSIBILITY OF THE DESIGNER TO ENSURE FULL COMPLIANCE WITH THE CITY OF NEW BRAUNFELS CODE OF ORDINANCES AND ALL PROVISIONS OUTLINED IN THE DESIGN STANDARDS MANUAL.



LEGEND

- | | | | |
|---|------------------------------------|---|--------------------------------------|
|  | PROPOSED LANDSIDE PAVEMENT |  | EXISTING SANITARY SEWER |
|  | PROPOSED APRON PAVEMENT |  | EXISTING STORM DRAIN |
|  | PROPOSED BUILDING |  | EXISTING UNDERGROUND ELECTRICAL LINE |
|  | EXISTING BUILDING |  | CONSTRUCTION LIMITS |
|  | PROPOSED AIRFIELD PAVEMENT MARKING |  | CONSTRUCTION TRAFFIC ROUTE |
|  | EXISTING AOA FENCE |  | BLACKOUT EXISTING MARKING |
|  | PROPOSED AOA FENCE |  | LOW PROFILE BARRICADES |
|  | EXISTING WATER LINE | | |

GENERAL NOTES FOR DESIGNER/DEVELOPER:

1. THE CONSTRUCTION SAFETY PHASING PLAN SHALL FOLLOW THE GENERAL GUIDANCE INCLUDED IN FAA AC 150/5370-2, CURRENT VERSION. ITEMS THAT NEED TO BE DEPICTED IN THE CSPP INCLUDE, BUT NOT LIMITED TO, ARE THE FOLLOWING:
 - A. AREAS AFFECTED BY CONSTRUCTION ACTIVITY
 - a. IDENTIFY AIRFIELD PAVEMENTS TO BE CLOSED OR PARTIALLY CLOSED.
 - b. IDENTIFY OR DIRECT CONTRACTOR TO PROVIDE ACCESS ROUTES USED BY AIRPORT VEHICLES.
 - c. IDENTIFY AREAS FOR CONSTRUCTION, CONTRACTOR PARKING, STAGING, STOCKPILE, FIELD OFFICE AND SPECIFY MAXIMUM CONSTRUCTION HEIGHT REQUIREMENTS.
 - d. ADDRESS TEMPORARY CHANGES TO TAXI OPERATIONS.
 - e. ADDRESS MAINTENANCE OF ESSENTIAL UTILITIES AND UNDERGROUND INFRASTRUCTURE
 - B. CONTRACTOR ACCESS
 - C. ADDRESS PROPER VEHICLE OPERATIONS, INCLUDING REQUIREMENTS FOR ESCORTS, MARKINGS AND LIGHTING OF VEHICLES, AND TRAINING REQUIREMENTS FOR VEHICLE DRIVERS.
 - D. DESCRIBE TWO-WAY RADIO COMMUNICATIONS PROCEDURES.
 - E. ADDRESS MAINTENANCE OF THE SECURED AREAS OF THE AIRPORT.
 - F. ADDRESS FOD MANAGEMENT PROCEDURES.
2. EQUIPMENT PLACEMENT
3. INCLUDE REMOVAL OF CENTERLINE MARKINGS LEADING TO CLOSED AIRFIELD AREAS
3. REFER TO AC 150/5300-20 FOR ADDITIONAL INFORMATION REGARDING SUBMISSION OF ON-AIRPORT PROPOSALS FOR AERONAUTICAL STUDY.

POINT TABLE								
POINT	DESCRIPTION	NORTHING	EASTING	GROUND ELEVATION	LATITUDE	LONGITUDE	MAX CONSTRUCTION HEIGHT	MAX CONSTRUCTION ELEVATION
101	WORK AREA	13805707.76	2275285.80	632'	S005° 42' 11.74"	W102° 32' 52.96"	50'	682'
102	WORK AREA	13805551.72	2275137.14	634'	S005° 42' 13.08"	W102° 32' 54.15"	50'	684'
103	WORK AREA	13805271.18	2275137.14	640'	S005° 42' 15.41"	W102° 32' 54.07"	50'	690'
104	WORK AREA	13805271.18	2275578.44	638'	S005° 42' 15.28"	W102° 32' 50.41"	50'	688'
105	WORK AREA	13805314.55	2275649.05	638'	S005° 42' 14.90"	W102° 32' 49.84"	50'	688'
106	WORK AREA	13805789.92	2275646.10	631'	S005° 42' 10.96"	W102° 32' 50.00"	50'	681'
107	HAUL ROUTE	13805606.22	2274811.26	635'	S005° 42' 12.72"	W102° 32' 56.86"	50'	685'



**NEW BRAUNFELS NATIONAL AIRPORT &
FBO
2333 FM758, NEW BRAUNFELS, TX 78130**

CONCEPTUAL

DRAWN BY: XXX
APPROVED BY: XXX
ORIGINAL ISSUE DATE: 10/01/2024

**NOT FOR PERMIT OR
CONSTRUCTION**

[illegible]

NEW BRAUNFELS NATIONAL AIRPORT CONSTRUCTION SAFETY PHASING PLAN -EXAMPLE

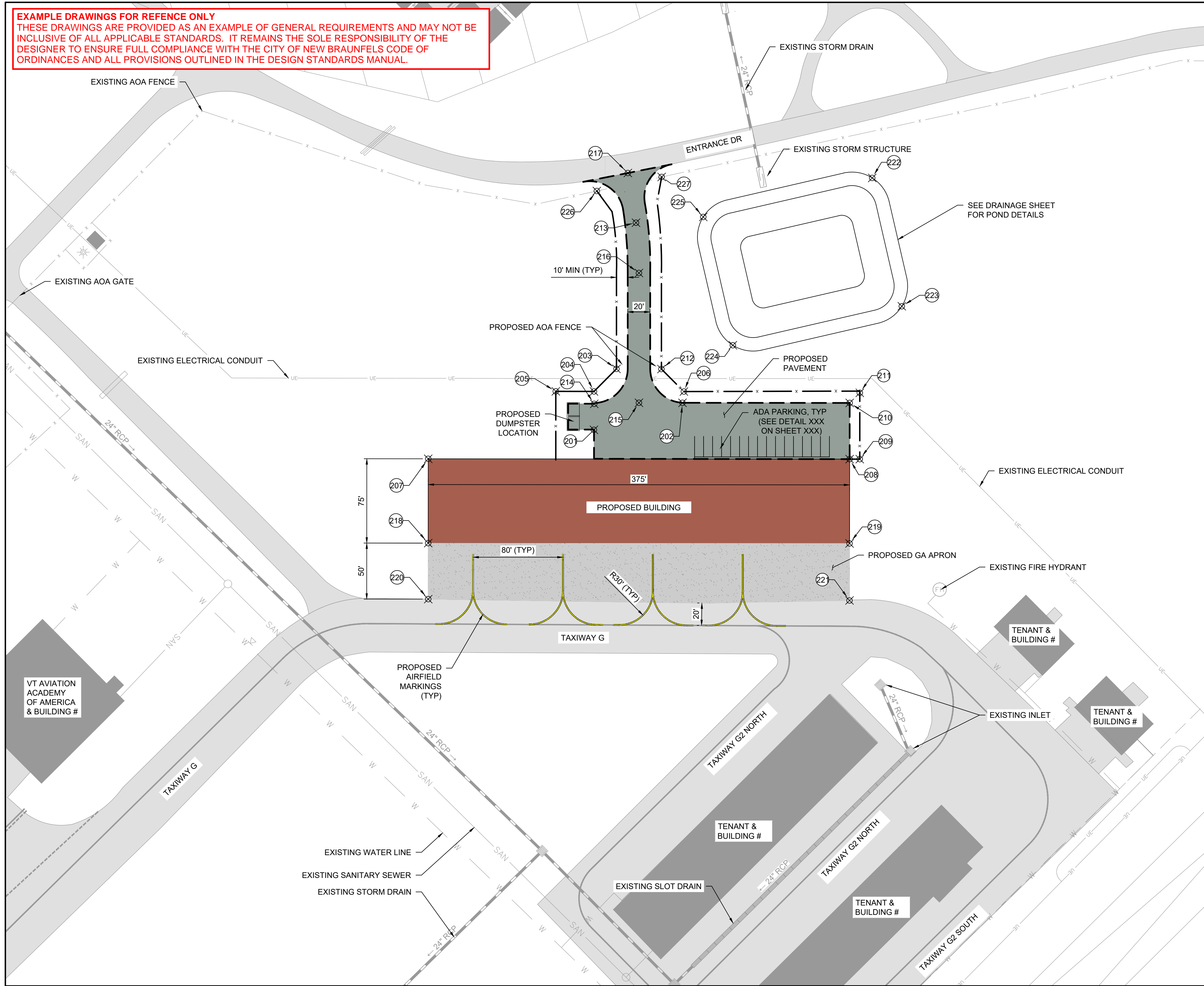
CONTRACT NUMBER:

PERMIT NUMBERS

DRAWING NUMBER

EX01

EXAMPLE DRAWINGS FOR REFERENCE ONLY
THESE DRAWINGS ARE PROVIDED AS AN EXAMPLE OF GENERAL REQUIREMENTS AND MAY NOT BE
INCLUSIVE OF ALL APPLICABLE STANDARDS. IT REMAINS THE SOLE RESPONSIBILITY OF THE
DESIGNER TO ENSURE FULL COMPLIANCE WITH THE CITY OF NEW BRAUNFELS CODE OF
ORDINANCES AND ALL PROVISIONS OUTLINED IN THE DESIGN STANDARDS MANUAL.



LEGEND

- LANDSIDE PAVEMENT
- APRON PAVEMENT
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED AIRFIELD PAVEMENT MARKING
- x

EXISTING AOA FENCE
- x

PROPOSED AOA FENCE

W

EXISTING WATER LINE

SAN

EXISTING SANITARY SEWEREXISTING STORM DRAIN

UE

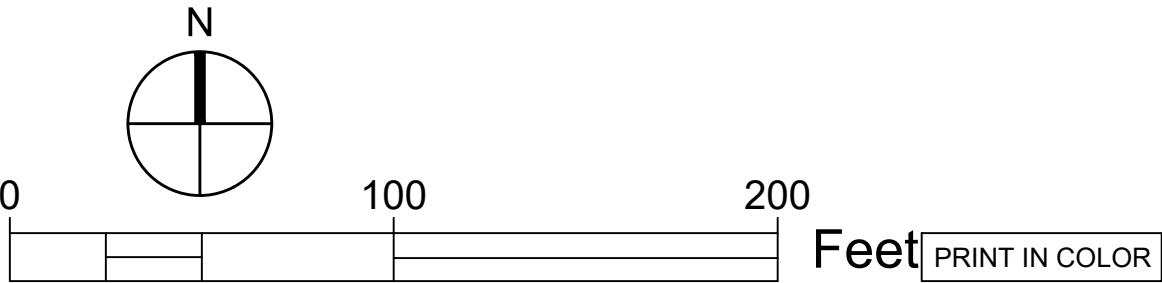
EXISTING UNDERGROUND ELECTRICAL LINE

- GENERAL NOTES FOR DESIGNER/DEVELOPER:
1. ALL PROPOSED DEVELOPMENT ON PUBLIC-USE AIRPORT PROPERTY IS SUBJECT TO AN AIRPORT AIRSPACE ANALYSIS AND MUST BE SUBMITTED FOR REVIEW THROUGH THE OE/AAA WEBSITE.

2. IF CORNERS OF PROPOSED BUILDINGS ARE NOT THE TALLEST POINTS, ENSURE THE POINTS INCLUDE THE HIGHEST ELEVATION OF THE STRUCTURE; E.G. ROOF PEAK OR APPURTENANCES (AC UNITS, ANTENNAS, FLAG POLES, ETC.).

3. THE APPROPRIATE ELEVATION OF PROPOSED AIRFIELD PAVEMENTS IS THE TAIL HEIGHT OF THE MOST DEMANDING AIRCRAFT THAT REGULARLY USES THE PAVEMENT.

3. REFER TO AC 150/5300-20 FOR ADDITIONAL INFORMATION REGARDING SUBMISSION OF ON-AIRPORT PROPOSALS FOR AERONAUTICAL STUDY.



POINT TABLE								
POINT	DESCRIPTION	NORTHING	EASTING	GROUND ELEVATION	LATITUDE	LONGITUDE	STRUCTURE HEIGHT	MAX STRUCTURE ELEVATION
201	DRIVEWAY	13805487.11	2275322.55	635'	S005° 42' 13.56"	W102° 32' 52.59"	20'	652'
202	AOA FENCE	13805511.15	2275401.35	632'	S005° 42' 13.34"	W102° 32' 51.95"	9'	641'
203	AOA FENCE	13805541.36	2275342.62	634'	S005° 42' 13.11"	W102° 32' 52.44"	9'	643'
204	AOA FENCE	13805521.29	2275322.62	634'	S005° 42' 13.28"	W102° 32' 52.60"	9'	644'
205	DRIVEWAY	13805521.36	2275288.62	634'	S005° 42' 13.29"	W102° 32' 52.89"	20'	655'
206	AOA FENCE	13805521.18	2275402.61	634'	S005° 42' 13.26"	W102° 32' 51.94"	9'	645'
207	BUILDING	13805461.36	2275175.10	636'	S005° 42' 13.82"	W102° 32' 53.81"	20'	656'
208	BUILDING	13805461.06	2275550.10	635'	S005° 42' 13.72"	W102° 32' 50.70"	20'	655'
209	AOA FENCE	13805461.06	2275559.10	635'	S005° 42' 13.71"	W102° 32' 50.63"	9'	644'
210	DRIVEWAY	13805511.06	2275550.14	634'	S005° 42' 13.30"	W102° 32' 50.72"	20'	654'
211	AOA FENCE	13805520.06	2275559.14	634'	S005° 42' 13.22"	W102° 32' 50.64"	9'	643'
212	AOA FENCE	13805541.18	2275382.62	634'	S005° 42' 13.10"	W102° 32' 52.11"	9'	643'
213	AOA FENCE	13805671.38	2275360.00	631'	S005° 42' 12.02"	W102° 32' 52.34"	9'	640'
214	DRIVEWAY	13805510.25	2275322.82	632'	S005° 42' 13.37"	W102° 32' 52.60"	20'	652'
215	DRIVEWAY	13805511.21	2275362.61	634'	S005° 42' 13.35"	W102° 32' 52.27"	20'	654'
216	DRIVEWAY	13805626.64	2275362.62	632'	S005° 42' 12.39"	W102° 32' 52.30"	20'	652'
217	DRIVEWAY	13805715.59	2275352.75	631'	S005° 42' 11.66"	W102° 32' 52.41"	20'	651'
218	BUILDING	13805386.38	2275175.07	639'	S005° 42' 14.44"	W102° 32' 53.79"	50'	689'
219	BUILDING	13805386.08	2275550.03	638'	S005° 42' 14.34"	W102° 32' 50.68"	50'	688'
220	APRON	13805336.53	2275175.12	640'	S005° 42' 14.85"	W102° 32' 53.77"	20'	660'
221	APRON	13805335.34	2275550.01	638'	S005° 42' 14.76"	W102° 32' 50.67"	20'	658'
222	POND	13805711.18	2275570.19	632'	S005° 42' 11.63"	W102° 32' 50.61"	20'	658'
223	POND	13805597.05	2275596.52	632'	S005° 42' 12.57"	W102° 32' 50.36"	1'	633'
224	POND	13805562.37	2275446.18	632'	S005° 42' 12.90"	W102° 32' 51.59"	1'	633'
225	POND	13805676.51	2275419.85	632'	S005° 42' 11.96"	W102° 32' 51.84"	1'	633'
226	AOA FENCE	13805699.57	2275325.14	632'	S005° 42' 11.80"	W102° 32' 52.63"	9'	633'
227	AOA FENCE	13805712.08	2275382.81	632'	S005° 42' 11.68"	W102° 32' 52.16"	9'	633'

FILE PATH:
BAZ Site Plan - CSPP.dwg

FILE NAME:
BAZ Site Plan - CSPP.dwg

PROJECT:
3/29/2023 3:55:56 PM Local Area



NEW BRAUNFELS NATIONAL AIRPORT &
FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
PERMANENT 7460 EXHIBIT
EXAMPLE

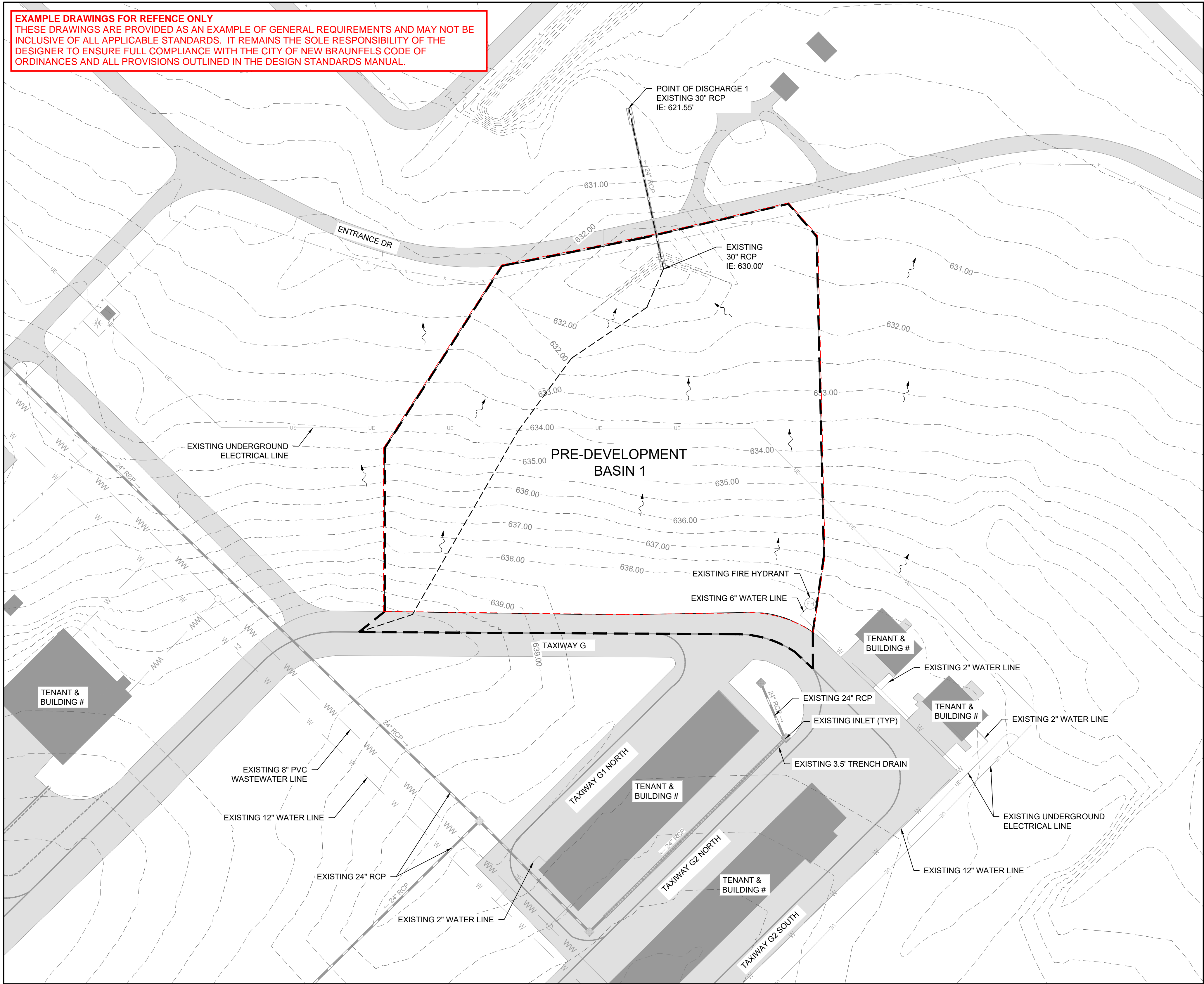
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PERMIT NUMBERS:

DRAWING NUMBER

EX01

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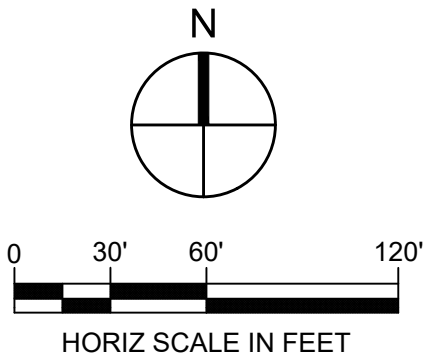
LEGEND

- EXISTING BUILDING
- EXISTING IMPERVIOUS PAVEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING STORM PIPE
- EXISTING INLET
- EXISTING SAFETY END TREATMENT
- BASIN OUTLINE
- LIMITS OF CONSTRUCTION
- TIME OF CONCENTRATION PATH
- SURFACE FLOW ARROW
- PIPE FLOW ARROW

BASIN NUMBER	OVERLAND FLOW					CHANNEL FLOW				TOTAL TRAVEL TIME (TC) (MIN)
	FLOW LENGTH (FT)	dE (FT)	SLOPE (FT/FT)	RETARDANCE COEFFICIENT (N)	TRAVEL TIME (MIN)	FLOW LENGTH (FT)	dE (FT)	SLOPE (FT/FT)	TRAVEL TIME (MIN)	
1	701	10.0	0.0263	0.4	14.7	N/A	N/A	N/A	N/A	27.06

DRAINAGE AREA CALCULATIONS							
BASIN NUMBER	IMPERVIOUS AREA (AC)	IMPERVIOUS AREA, C1	PERVIOUS AREA (AC)	PERVIOUS AREA, C2	TOTAL AREA (AC)	COMPOSITE RUNOFF, C	TIME OF CONCENTRATION (MIN)
1	0.25	0.90	3.96	0.35	4.21	0.38	27.06

FLOW SUMMARY TABLE	
STORM EVENT FREQUENCY	EXISTING PEAK FLOW (CFS)
Q 2 YR, 24 HR	2.79
Q 5 YR, 24 HR	3.38
Q 10 YR, 24 HR	3.97
Q 25 YR, 24 HR	4.51
Q 100 YR, 24 HR	6.64



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NEW BRAUNFELS NATIONAL AIRPORT
PRE-DEVELOPMENT DRAINAGE MAP

CONTRACT NUMBER:

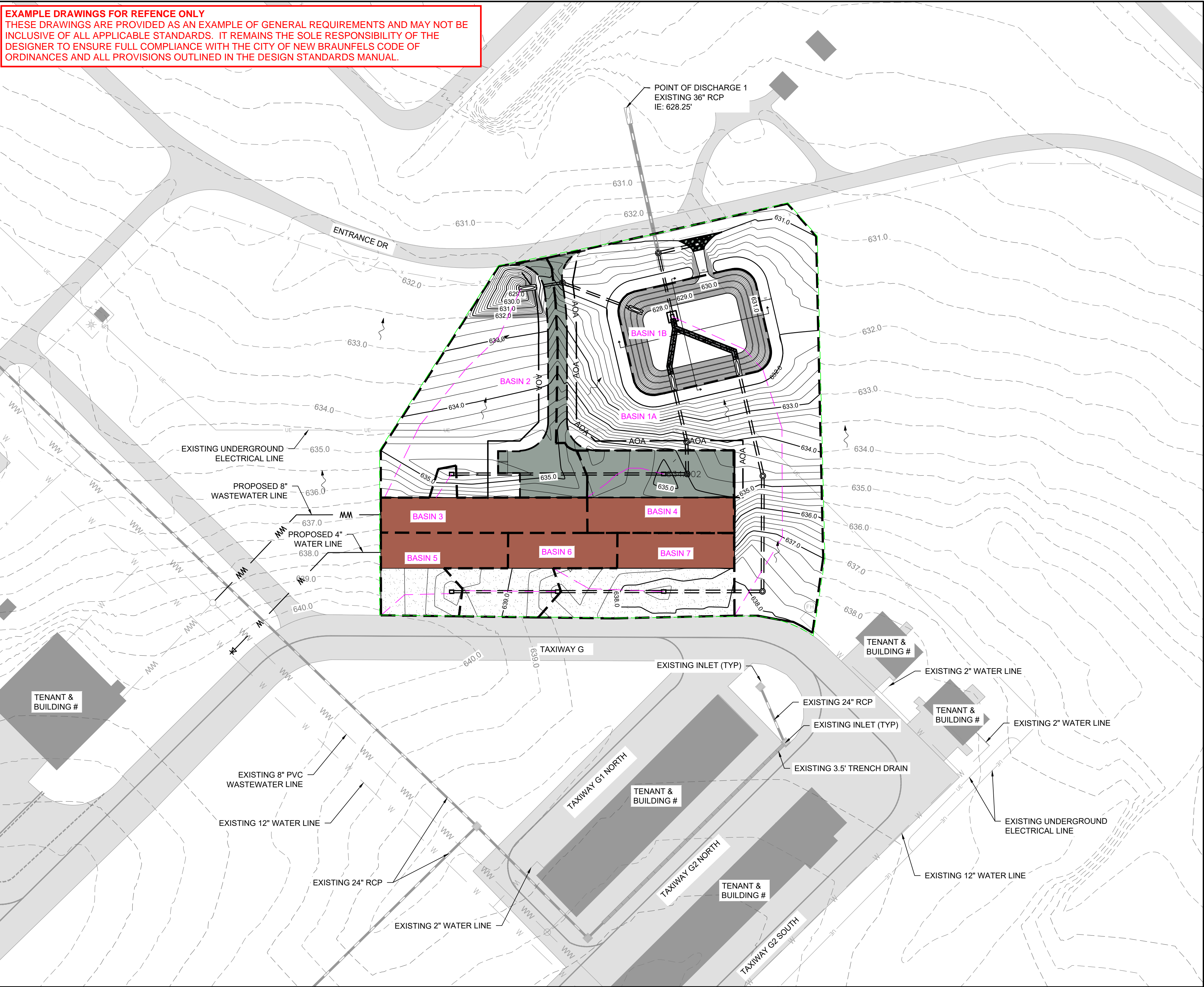
PERMIT NUMBERS:

DRAWING NUMBER

CG201

SCALE(S) AS NOTED ON THIS SHEET ARE BASED ON A FULL SIZE 22 X 34 SHEET.

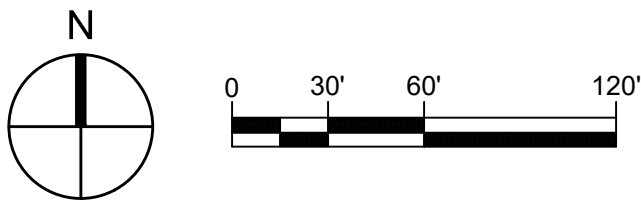
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- LEGEND**
- EXISTING BUILDING
 - EXISTING IMPERVIOUS PAVEMENT
 - EXISTING MINOR CONTOUR (0.5')
 - EXISTING MAJOR CONTOUR (1.0')
 - EXISTING STORM PIPE
 - EXISTING INLET
 - EXISTING SAFETY END TREATMENT
 - PROPOSED LANDSIDE PAVEMENT
 - PROPOSED APRON PAVEMENT
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED BUILDING
 - PROPOSED MINOR CONTOUR (0.2')
 - PROPOSED MAJOR CONTOUR (1.0')
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED SAFETY END TREATMENT
 - PROPOSED GRADING LIMITS
 - BASIN OUTLINE
 - TIME OF CONCENTRATION PATH
 - SURFACE FLOW ARROW
 - EXISTING GRADE PROFILE LINE
 - PROPOSED GRADE PROFILE LINE

DRAINAGE AREA CALCULATIONS						
BASIN NUMBER	IMPERVIOUS AREA (AC)	IMPERVIOUS AREA, C1	PERVIOUS AREA (AC)	PERVIOUS AREA, C2	COMPOSITE RUNOFF, C	TIME OF CONCENTRATION (MIN)
1A	0.39	0.9	0.51	0.35	0.48	18.27
1B	0.13	0.9	N/A	N/A	0.35	10.79
2	0.14	0.9	0.22	0.45	0.45	15.17
3	0.02, 0.16	0.9, 0.85	N/A	N/A	0.86	10.00
4	0.16, 0.11	0.9, 0.85	N/A	N/A	0.88	11.47
5	0.10	0.85	0.03	0.35	0.63	11.80
6	0.08	0.85	0.04	0.35	0.57	13.30
7	0.09	0.85	0.08	0.35	0.51	17.21

FLOW SUMMARY TABLE								
STORM EVENT FREQUENCY	PROPOSED PEAK FLOW (CFS)							
	BASIN 1A	BASIN 1B	BASIN 2	BASIN 3	BASIN 4	BASIN 5	BASIN 6	BASIN 7
Q 2 YR, 24 HR	0.15	0.43	0.45	0.14	0.24	0.12	0.12	0.19
Q 5 YR, 24 HR	0.18	0.54	0.56	0.17	0.30	0.15	0.15	0.23
Q 10 YR, 24 HR	0.23	0.67	0.70	0.21	0.37	0.18	0.19	0.29
Q 25 YR, 24 HR	0.26	0.77	0.80	0.25	0.43	0.21	0.22	0.33
Q 100 YR, 24 HR	0.33	0.99	1.02	0.32	0.55	0.27	0.28	0.43



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
POST-DEVELOPMENT
DRAINAGE AREA MAP

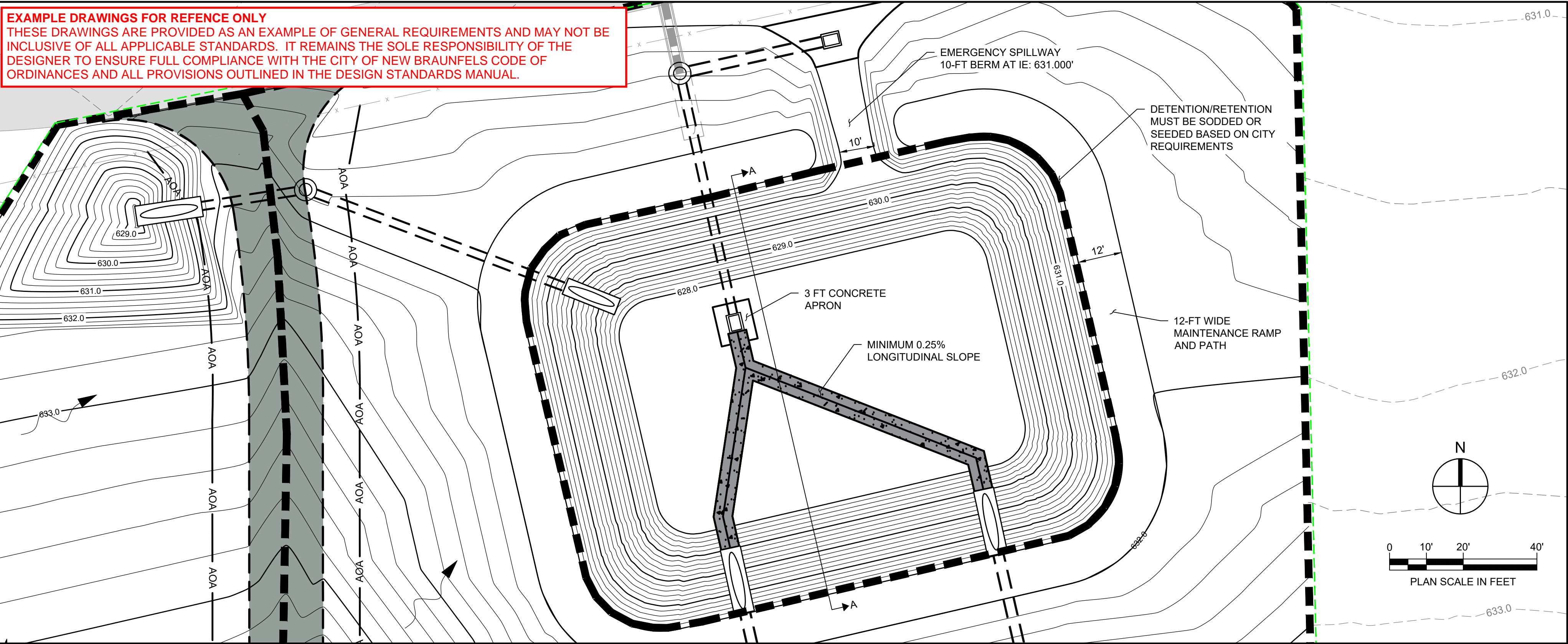
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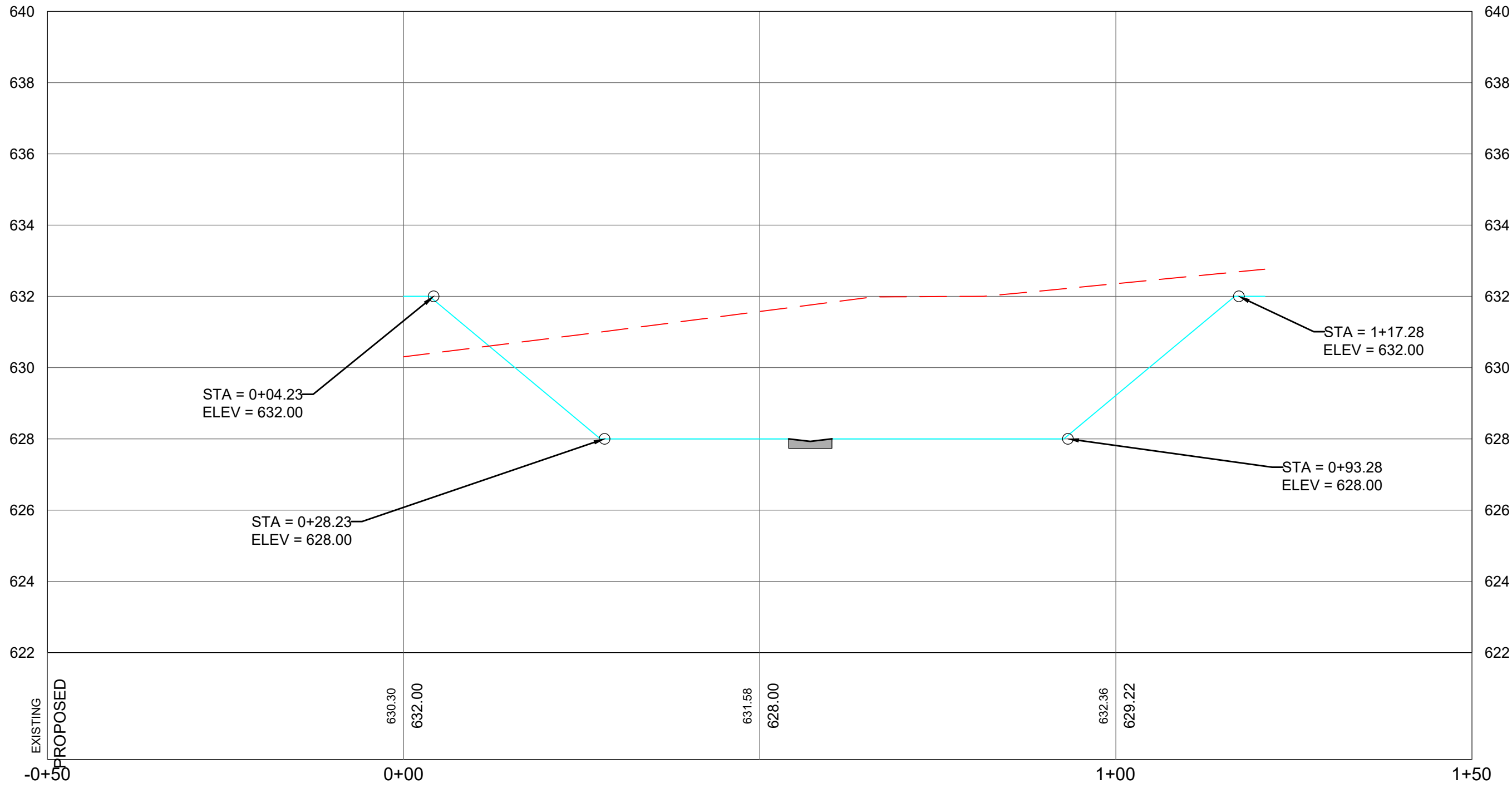
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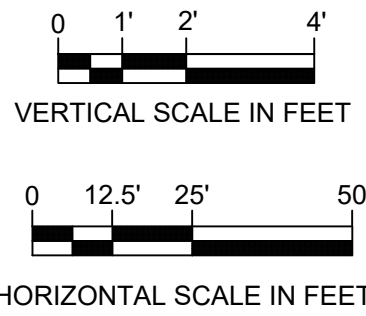
EXAMPLE DRAWINGS FOR REFERENCE ONLY
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- LEGEND**
- EXISTING BUILDING
 - EXISTING IMPERVIOUS PAVEMENT
 - EXISTING MINOR CONTOUR (0.5')
 - EXISTING MAJOR CONTOUR (1.0')
 - EXISTING STORM PIPE
 - EXISTING INLET
 - EXISTING SAFETY END TREATMENT
 - PROPOSED LANDSIDE PAVEMENT
 - PROPOSED APRON PAVEMENT
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED BUILDING
 - PROPOSED MINOR CONTOUR (0.2')
 - PROPOSED MAJOR CONTOUR (1.0')
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED SAFETY END TREATMENT
 - PROPOSED GRADING LIMITS
 - BASIN OUTLINE
 - TIME OF CONCENTRATION PATH
 - SURFACE FLOW ARROW
 - EXISTING GRADE PROFILE LINE
 - PROPOSED GRADE PROFILE LINE



DETENTION POND SECTION A PROFILE



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NO.	DATE	REVISION

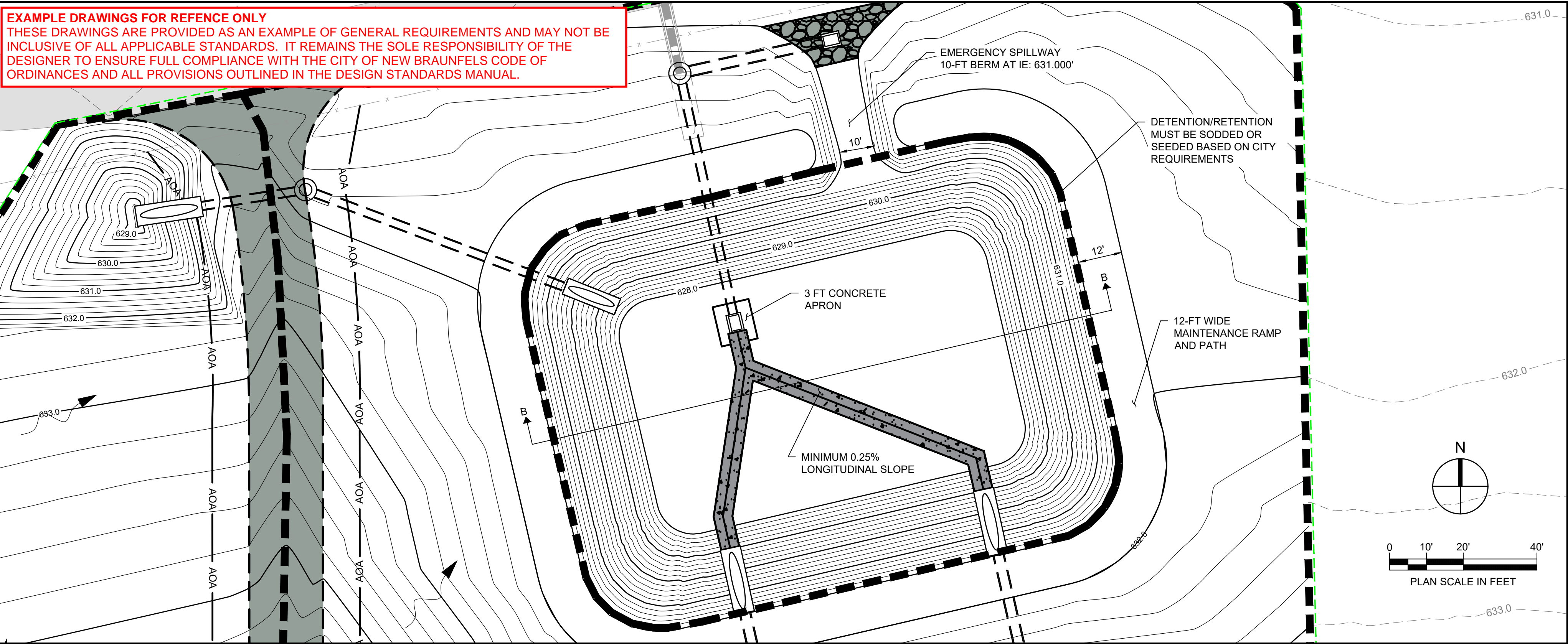
NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE ATTENUATION PLAN

CONTRACT NUMBER:

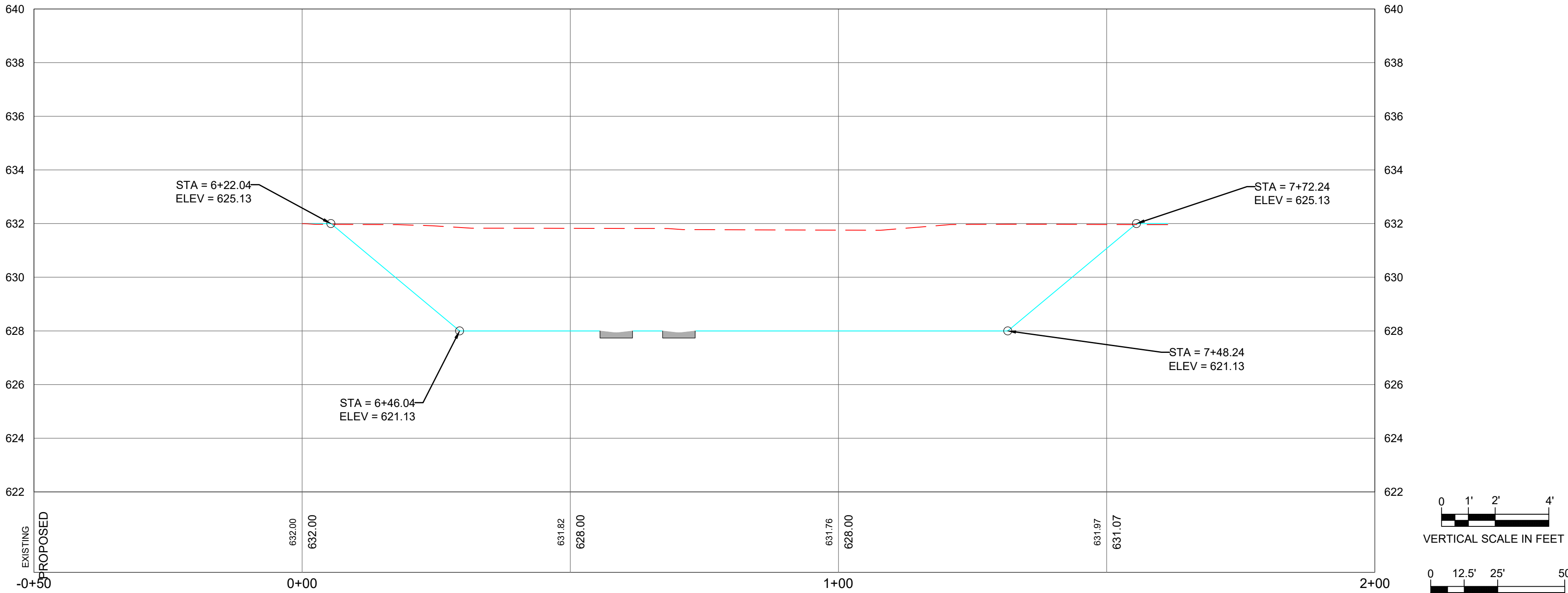
PERMIT NUMBERS:

DRAWING NUMBER
CG002

EXAMPLE DRAWINGS FOR REFERENCE ONLY
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- LEGEND**
- EXISTING BUILDING
 - EXISTING IMPERVIOUS PAVEMENT
 - EXISTING MINOR CONTOUR (0.5')
 - EXISTING MAJOR CONTOUR (1.0')
 - EXISTING STORM PIPE
 - EXISTING INLET
 - EXISTING SAFETY END TREATMENT
 - PROPOSED LANDSIDE PAVEMENT
 - PROPOSED APRON PAVEMENT
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED BUILDING
 - PROPOSED MINOR CONTOUR (0.2')
 - PROPOSED MAJOR CONTOUR (1.0')
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED SAFETY END TREATMENT
 - PROPOSED GRADING LIMITS
 - BASIN OUTLINE
 - TIME OF CONCENTRATION PATH
 - SURFACE FLOW ARROW
 - EXISTING GRADE PROFILE LINE
 - PROPOSED GRADE PROFILE LINE



DETENTION POND SECTION B PROFILE



NEW BRAUNFELS NATIONAL AIRPORT &
FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NEW BRAUNFELS NATIONAL AIRPORT
**DRAINAGE ATTENUATION
PLAN**

CONTRACT NUMBER:

PERMIT NUMBERS:

DRAWING NUMBER

CG003

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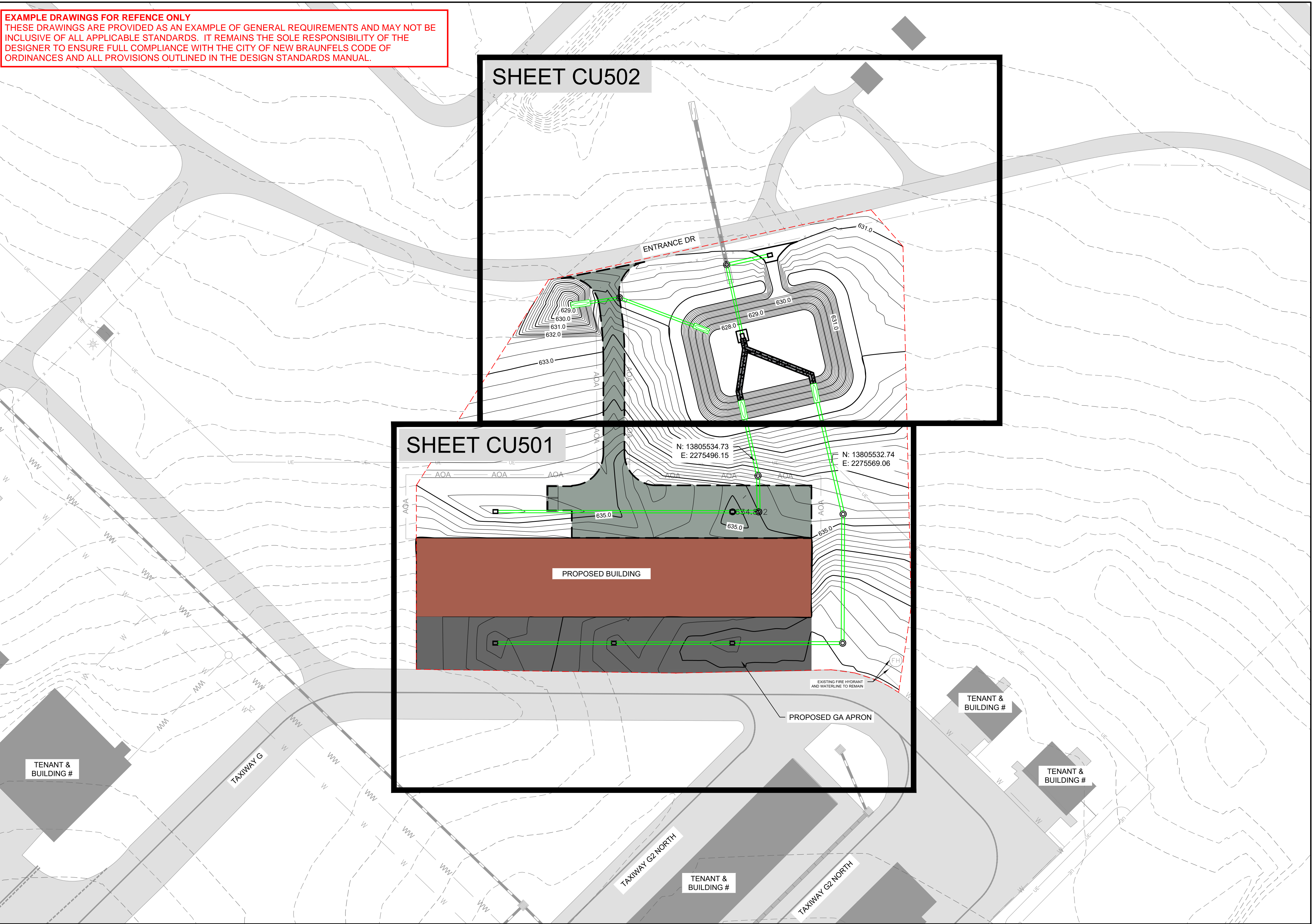
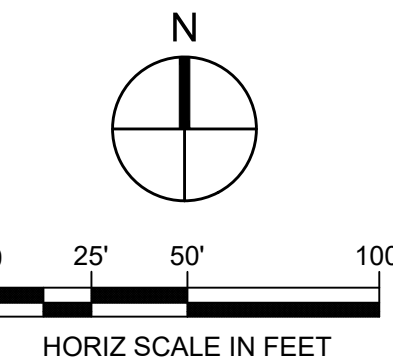
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SHEET CU502

SHEET CU501

LEGEND

- EXISTING BUILDING
- EXISTING IMPERVIOUS PAVEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING STORM PIPE
- EXISTING INLET
- EXISTING SAFETY END TREATMENT
- PROPOSED LANDSIDE PAVEMENT
- PROPOSED TAXILANE PAVEMENT
- PROPOSED CONCRETE PILOT CHANNEL
- PROPOSED CONCRETE PILOT CHANNEL
- PROPOSED BUILDING
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED INLET
- PROPOSED MANHOLE
- PROPOSED STORM PIPE
- PROPOSED SAFETY END TREATMENT
- PROPOSED GRADING LIMITS



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

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NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE PLAN
(OVERALL MAP)

CONTRACT NUMBER:

PERMIT NUMBERS:

DRAWING NUMBER
CU500

SCALE(S) AS NOTED ON THIS SHEET ARE BASED ON A FULL SIZE 22 X 34 SHEET.

EXISTING ELECTRICAL LINE TO REMAIN
SEE PROFILE SHEETS FOR DETAILS
N: 13805534.73
E: 2275496.15

EXISTING ELECTRICAL LINE TO REMAIN
SEE PROFILE SHEETS FOR DETAILS
N: 13805532.74
E: 2275569.06

(**"A PROFILE" STA 0+00.00**)
STRUCTURE ID= A1
INSTALL:
1-TXDOT (INLET)(COMPL)
(PSL)(FG)
(5FTX5FT - 4FTX4FT)
RIM=634.50
FL 24"=630.50 (E)
N: 13805486.30
E: 2275250.17

("A PROFILE" STA 2+24.95)
 STRUCTURE ID= A2
 INSTALL:
 1-TXDOT (INLET)(COMPL)
 (PSL)(FG)
 (5FTX5FT - 4FTX4FT)
 RIM=634.80
 FL 24"=629.97 (W)
 FL 30"=629.47 (E)
 N: 13805486.12
 E: 2275475.12

(“A PROFILE” STA 2+49.86)
STRUCTURE ID= A3
INSTALL:
1-6' TXDOT PRECAST ROUND
MANHOLE
RIM=635.00
FL 30"=629.41 (W)
FL 30"=629.41 (N)
N: 13805486.10
E: 2275500.03

"B PROFILE" STA 4+52.17)
STRUCTURE ID= B5
INSTALL:
1-5' TXDOT PRECAST ROUND
MANHOLE
RIM=634.71
FL 30"=630.19 (S)
FL 30"=630.19 (N)
N: 13805483.92
E: 2275580.23

(“B PROFILE” STA 3+29.69)
STRUCTURE ID= B4
INSTALL:
1-6' TXDOT PRECAST ROUND
MANHOLE
RIM=637.88
FL 30"=631.14 (W)
FL 30"=631.14 (N)
N: 13805361.44
E: 2275579.77

("B PROFILE" STA 2+24.95)
 STRUCTURE ID= B3
 INSTALL:
 1-TXDOT (INLET)(COMPL)
 (PSL)(FG)
 (5FTX5FT - 4FTX4FT)
 RIM=637.69
 FL 24"=632.46 (W)
 FL 30"=631.96 (E)
 N: 13805361.44
 E: 2275475.03

("B PROFILE" STA 1+12.48)
STRUCTURE ID= B2
INSTALL:
1-TXDOT (INLET)(COMPL)
(PSL)(FG)
(5FTX5FT - 4FTX4FT)
RIM=638.30
FL 24"=633.34 (W)
FL 24"=633.34 (E)
N: 13805361.44
E: 2275362.55

("B PROFILE" STA 0+00.00)
STRUCTURE ID= B1
INSTALL:
1-TXDOT (INLET)(COMPL)
(PSL)(FG)
(5FTX5FT - 4FTX4FT)
RIM=639.04
FL 24"-634.21 (E)
N: 13805361.44
E: 2275250.07

EXISTING FIRE HYDRANT
AND WATERLINE TO REMAIN

EXISTING INLET TO REMAIN
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N: 13805260.23
E: 2275577.43

EXISTING BUILDING

EXISTING IMPERVIOUS PAVEMENT

EXISTING MINOR CONTOUR

EXISTING MAJOR CONTOUR

EXISTING STORM PIPE

EXISTING INLET

EXISTING SAFETY END TREATMENT

PROPOSED LANDSIDE PAVEMENT

PROPOSED TAXILANE PAVEMENT

PROPOSED CONCRETE PILOT CHANNEL

PROPOSED CONCRETE PILOT CHANNEL

PROPOSED BUILDING

PROPOSED MINOR CONTOUR

PROPOSED MAJOR CONTOUR

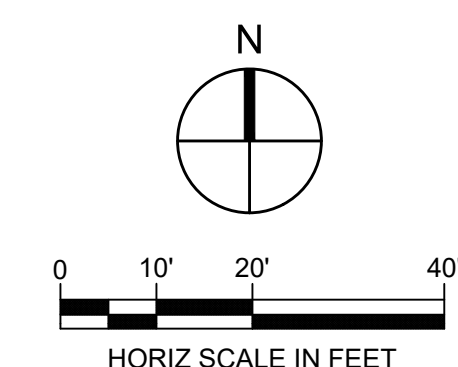
PROPOSED INLET

PROPOSED MANHOLE

PROPOSED STORM PIPE

PROPOSED SAFETY END TREATMENT

PROPOSED GRADING LIMITS



CONCEPTUAL

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NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE PLAN
(SHEET 1 OF 2)

CONTRACT NUMBER:

PERMIT NUMBERS:

DRAWING NUMBER

CU501

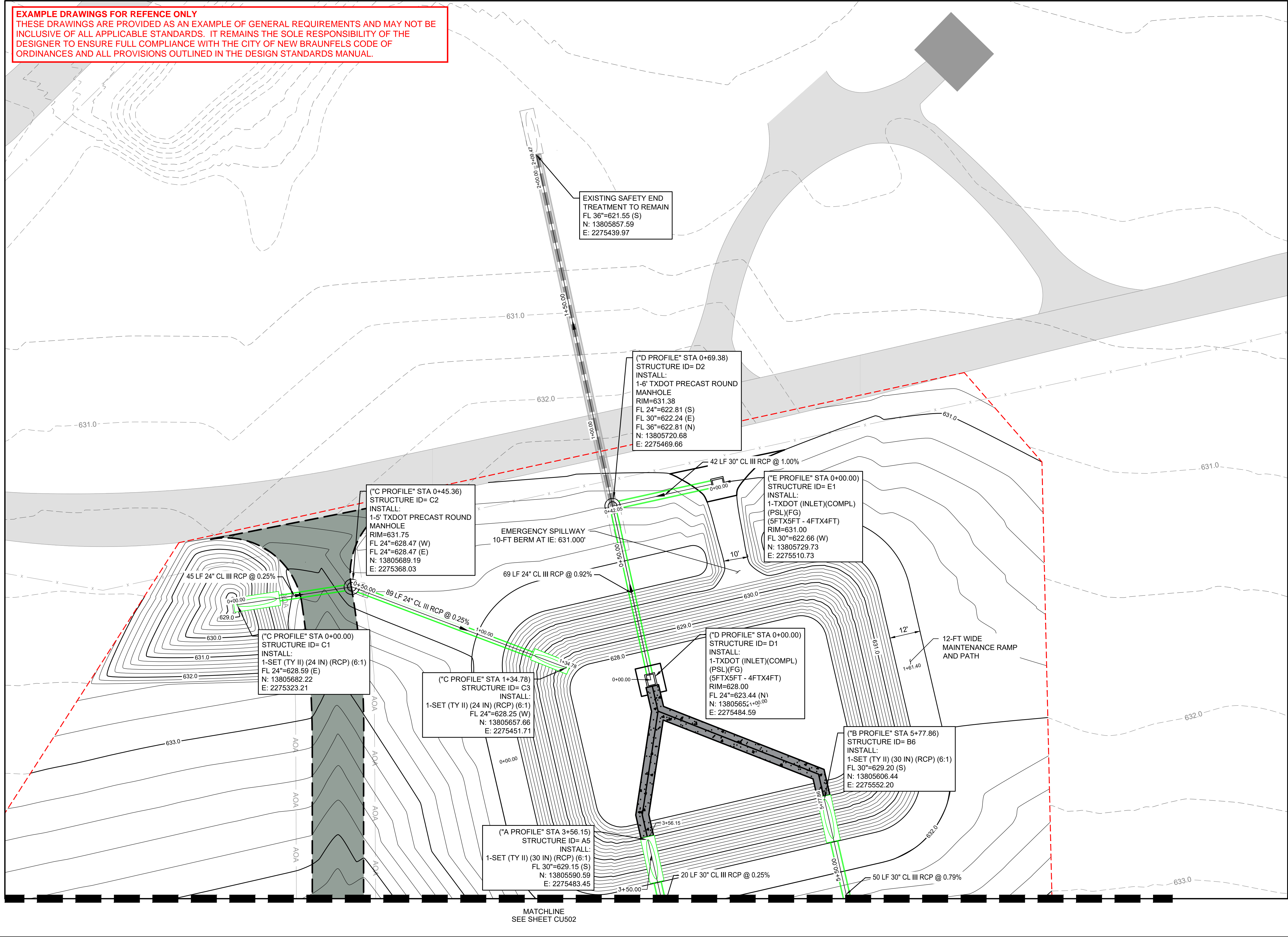
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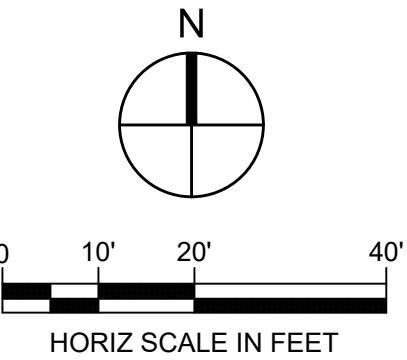
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- LEGEND**
- EXISTING BUILDING
 - EXISTING IMPERVIOUS PAVEMENT
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING STORM PIPE
 - EXISTING INLET
 - EXISTING SAFETY END TREATMENT
 - PROPOSED LANDSIDE PAVEMENT
 - PROPOSED TAXILANE PAVEMENT
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED CONCRETE PILOT CHANNEL
 - PROPOSED BUILDING
 - PROPOSED MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED STORM PIPE
 - PROPOSED SAFETY END TREATMENT
 - PROPOSED GRADING LIMITS



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NEW BRAUNFELS NATIONAL AIRPORT &
FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

DRAWN BY: XXX
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CONSTRUCTION

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NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE PLAN
(SHEET 2 OF 2)

CONTRACT NUMBER:

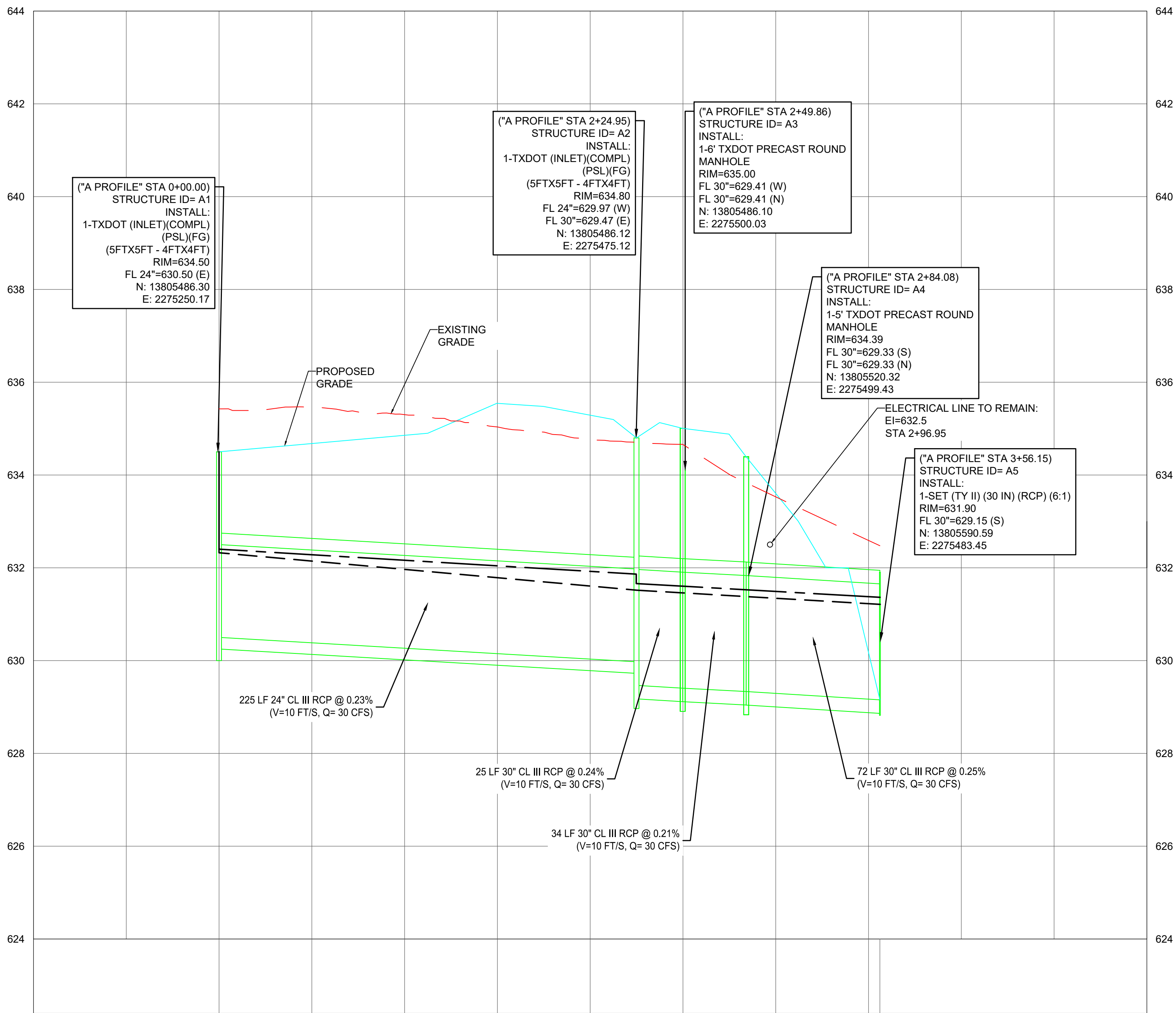
PERMIT NUMBERS:

DRAWING NUMBER

CU502

SCALE(S) AS NOTED ON THIS SHEET ARE BASED ON A FULL SIZE 22 X 34 SHEET.

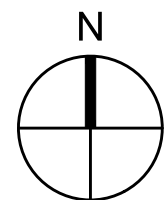
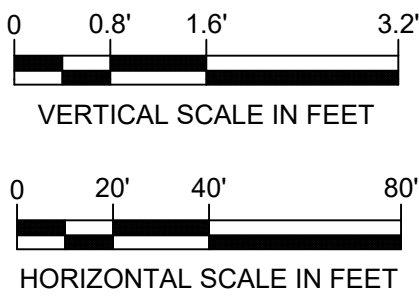
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A PROFILE

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- 100 YR HYDRAULIC GRADE LINE
- 25 YR HYDRAULIC GRADE LINE
- PROPOSED STORM INFRASTRUCTURE



PRINT IN COLOR



NEW BRAUNFELS NATIONAL AIRPORT &
FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

DRAWN BY: XXX
APPROVED BY: XXX
ORIGINAL ISSUE DATE: 10/01/2024

NOT FOR PERMIT OR
CONSTRUCTION

NO.	DATE	REVISION

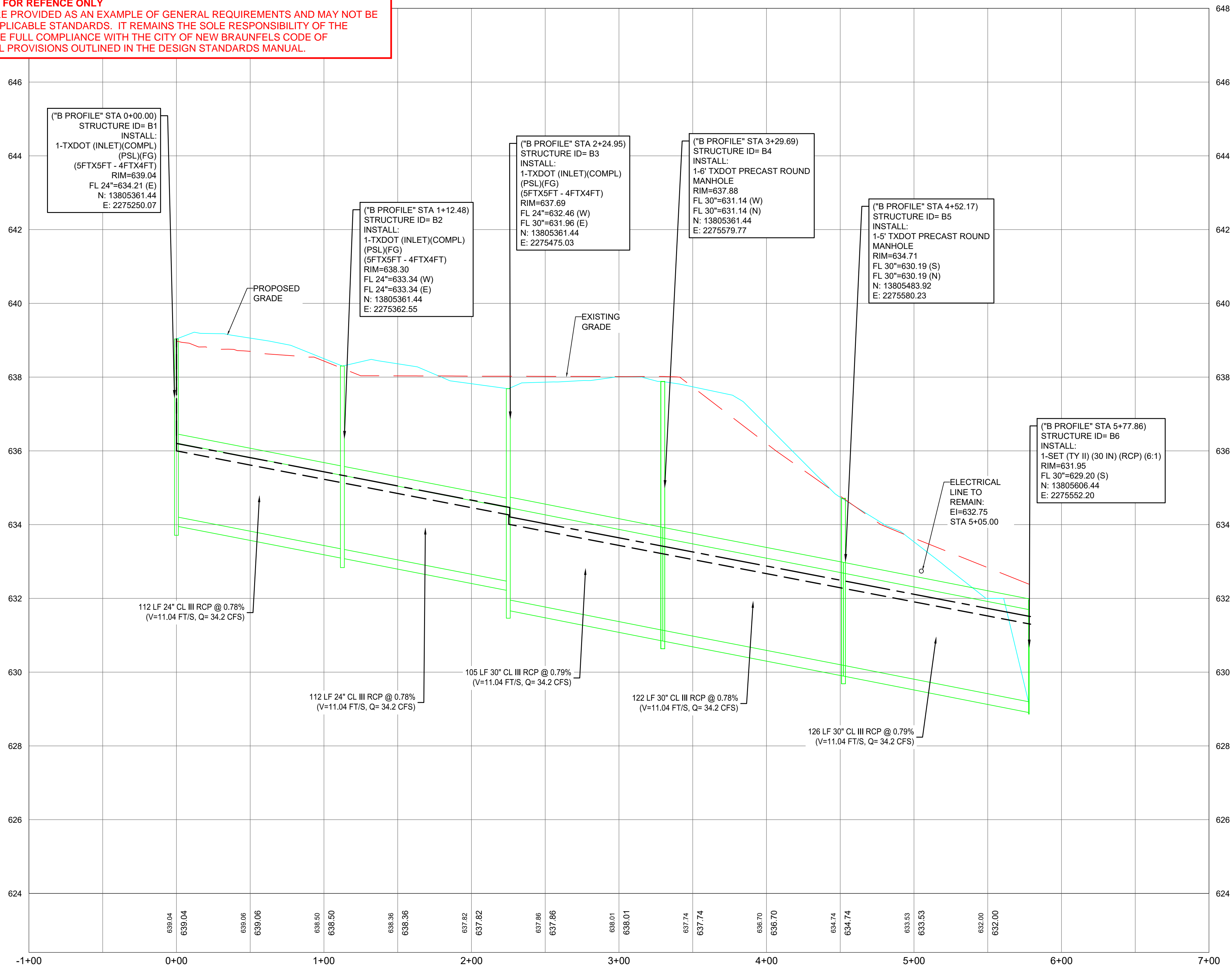
NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE
PROFILES (SHEET 1 OF 4)

CONTRACT NUMBER:

PERMIT NUMBERS:

DRAWING NUMBER
CU550

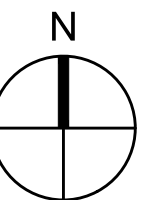
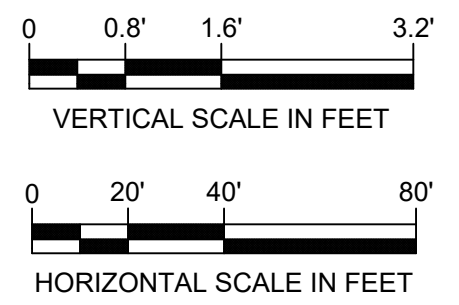
EXAMPLE DRAWINGS FOR REFERENCE ONLY
THESE DRAWINGS ARE PROVIDED AS AN EXAMPLE OF GENERAL REQUIREMENTS AND MAY NOT BE INCLUSIVE OF ALL APPLICABLE STANDARDS. IT REMAINS THE SOLE RESPONSIBILITY OF THE DESIGNER TO ENSURE FULL COMPLIANCE WITH THE CITY OF NEW BRAUNFELS CODE OF ORDINANCES AND ALL PROVISIONS OUTLINED IN THE DESIGN STANDARDS MANUAL.



B PROFILE

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- 100 YR HYDRAULIC GRADE LINE
- 25 YR HYDRAULIC GRADE LINE
- PROPOSED STORM INFRASTRUCTURE



PRINT IN COLOR



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

DRAWN BY: XXX
APPROVED BY: XXX
ORIGINAL ISSUE DATE: 10/01/2024

NOT FOR PERMIT OR CONSTRUCTION

NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE
PROFILES (SHEET 2 OF 4)

CONTRACT NUMBER:

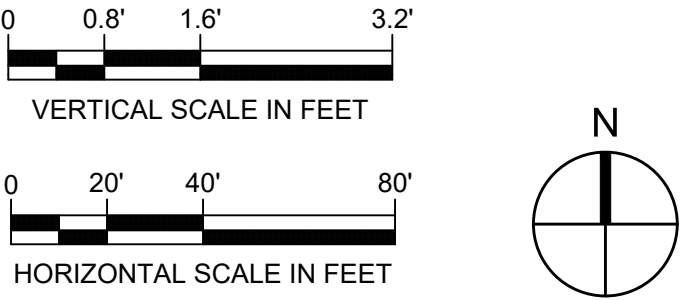
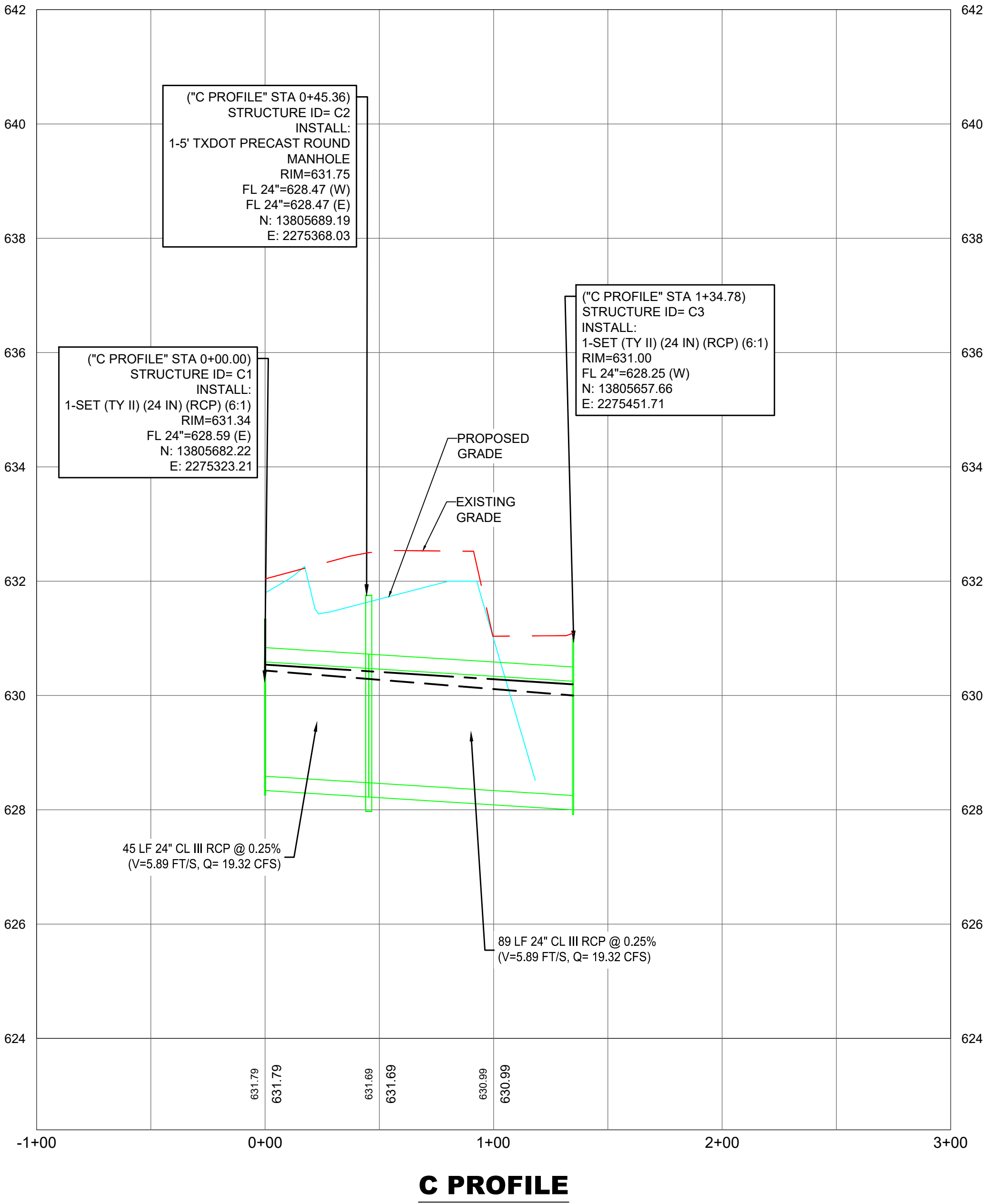
PERMIT NUMBERS:

DRAWING NUMBER
CU551

EXAMPLE DRAWINGS FOR REFERENCE ONLY
THESE DRAWINGS ARE PROVIDED AS AN EXAMPLE OF GENERAL REQUIREMENTS AND MAY NOT BE INCLUSIVE OF ALL APPLICABLE STANDARDS. IT REMAINS THE SOLE RESPONSIBILITY OF THE DESIGNER TO ENSURE FULL COMPLIANCE WITH THE CITY OF NEW BRAUNFELS CODE OF ORDINANCES AND ALL PROVISIONS OUTLINED IN THE DESIGN STANDARDS MANUAL.

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- 100 YR HYDRAULIC GRADE LINE
- 25 YR HYDRAULIC GRADE LINE
- PROPOSED STORM INFRASTRUCTURE



PRINT IN COLOR



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

DRAWN BY: XXX
APPROVED BY: XXX
ORIGINAL ISSUE DATE: 10/01/2024

NOT FOR PERMIT OR CONSTRUCTION

NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE
PROFILES (SHEET 3 OF 4)

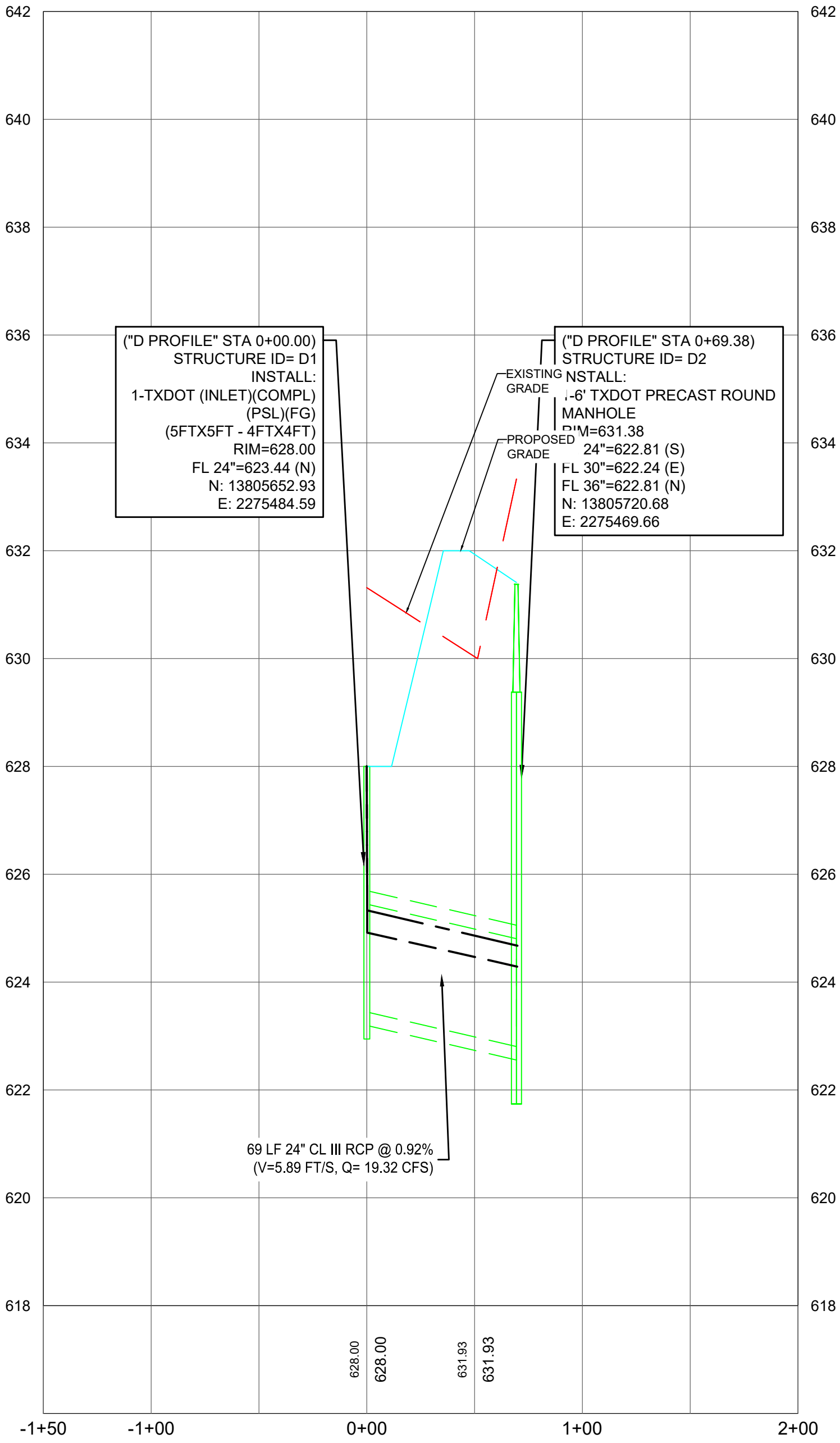
CONTRACT NUMBER: PERMIT NUMBERS:

DRAWING NUMBER
CU552

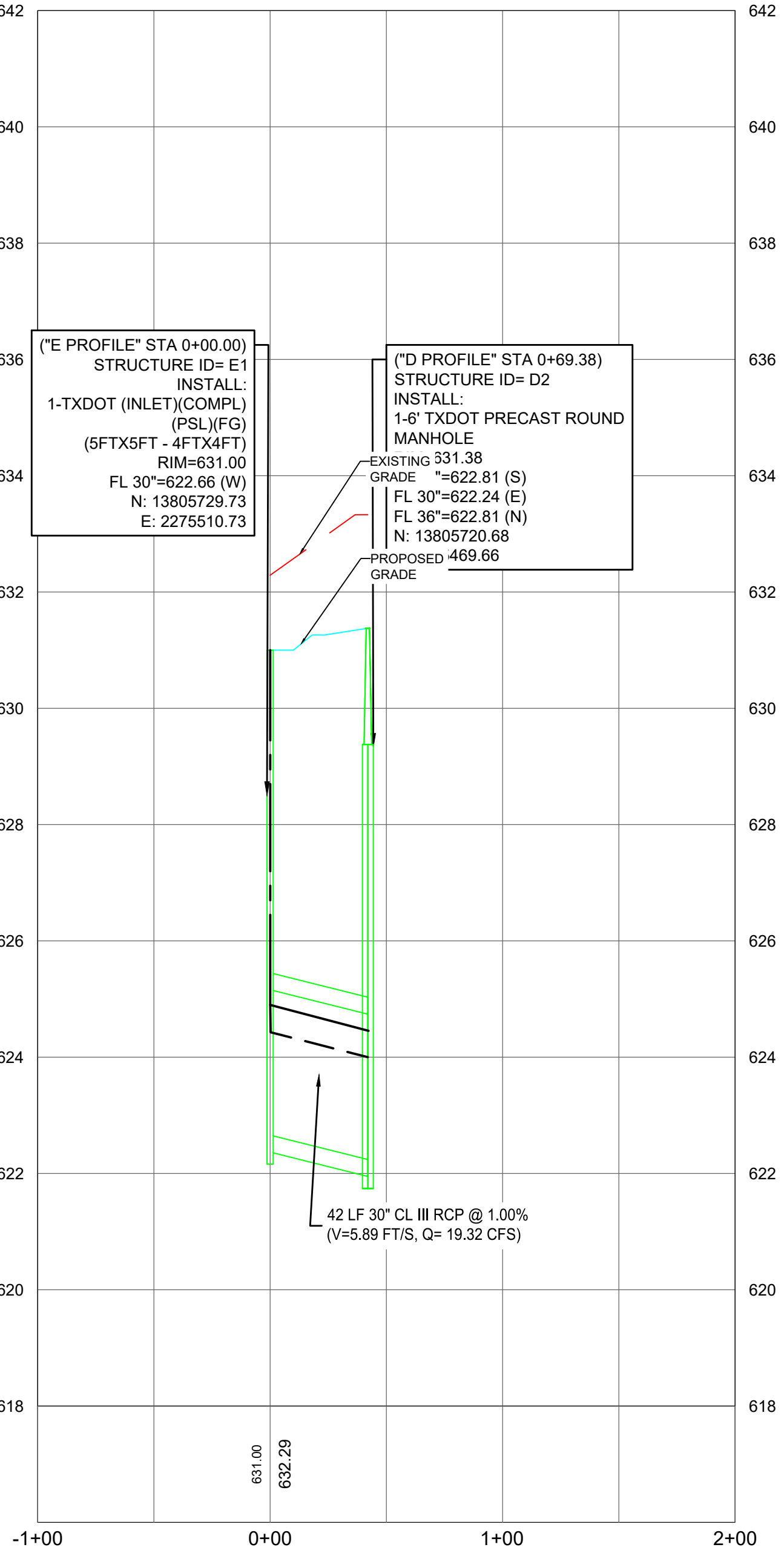
EXAMPLE DRAWINGS FOR REFERENCE ONLY
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LEGEND

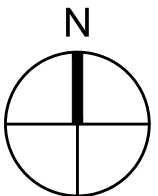
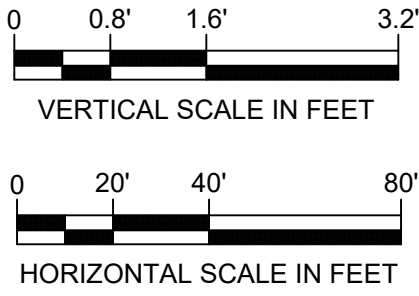
- EXISTING GRADE
- PROPOSED GRADE
- 100 YR HYDRAULIC GRADE LINE
- 25 YR HYDRAULIC GRADE LINE
- PROPOSED STORM INFRASTRUCTURE



D PROFILE



E PROFILE



PRINT IN COLOR



NEW BRAUNFELS NATIONAL AIRPORT & FBO
2333 FM758, NEW BRAUNFELS, TX 78130

CONCEPTUAL

DRAWN BY: XXX
APPROVED BY: XXX
ORIGINAL ISSUE DATE: 10/01/2024

NOT FOR PERMIT OR CONSTRUCTION

NO.	DATE	REVISION

NEW BRAUNFELS NATIONAL AIRPORT
DRAINAGE INFRASTRUCTURE
PROFILES (SHEET 4 OF 4)

CONTRACT NUMBER:

PERMIT NUMBERS:

DRAWING NUMBER
CU553

8/11/2025

Agenda Item No. E)

PRESENTER:

Becca Miears, Director of Human Resources

SUBJECT:

Approval of the first reading of an ordinance establishing the number of positions in each classification in the New Braunfels Police Department pursuant to Local Government Code, Chapter 143.

DEPARTMENT: Human Resources**COUNCIL DISTRICTS IMPACTED:** All**BACKGROUND INFORMATION:**

The Police Department is proposing a staffing reclassification to better align supervisory capacity with operational demands. This amendment would eliminate one (1) Sergeant position and add one (1) Lieutenant position. Currently, the department has two Lieutenants overseeing Patrol-one on the "A" side and one on the "B" side-each responsible for coverage across all three shifts (days, evenings, and midnights). By adding a third Lieutenant position, the department would be able to assign a dedicated Lieutenant to each shift on both "A" and "B" sides, improving leadership presence, operational oversight, and span of control. This adjustment enhances leadership capacity at the upper supervisory level and provides additional opportunities for professional development and advancement within the department.

ISSUE:

N/A

STRATEGIC PLAN REFERENCE:☐Economic Mobility ☐Enhanced Connectivity ☐Community Identity☒Organizational Excellence ☒Community Well-Being ☐N/A

[Enter Objectives/Performance Measures Supported]

FISCAL IMPACT:

This position reclassification will be supported using existing funds already approved in the FY 2025 Police Department budget. No additional funding is required, and sufficient resources are available to accommodate the change.

RECOMMENDATION:

Staff recommends approval of the ordinance.

ORDINANCE 2025-_____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS, ESTABLISHING THE CLASSIFICATION OF EMPLOYEES WITHIN THE NEW BRAUNFELS FIRE AND POLICE DEPARTMENTS AND AUTHORIZING THE NUMBER OF EMPLOYEES IN EACH CLASSIFICATION; PROVIDING FOR SEVERABILITY; REPEALING ORDINANCES AND PROVISIONS IN CONFLICT; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City of New Braunfels has adopted Civil Service, Chapter 143 of the Texas Local Government Code for its Police and Fire Department employees; and

WHEREAS, pursuant to Chapter 143, the City Council shall establish the classifications of employees and prescribe the number of positions in each classification pursuant to Section 143.021(a) of the Texas Local Government Code; and

WHEREAS, the City Council adopted Ordinance No. 2024-77 which established the classifications and rank for both the Police Department and Fire Department for FY2024-25 as a part of the annual budget process; and

WHEREAS, this amendment proposes to eliminate one (1) Sergeant position and add one (1) Lieutenant position within the Police Department, in order to enhance leadership capacity at the upper supervisory level and to provide increased opportunities for professional advancement and organizational support at the rank of Lieutenant.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF
THE CITY OF NEW BRAUNFELS, TEXAS, THAT**

I.

The civil service classifications and number of positions in each classification in the Police Department shall be approved as follows:

<u>Classification</u>	<u>Effective 10/01/2024</u>	<u>Effective 02/12/2024</u>
1. Assistant Police Chief	1	1
2. Captain	3	3
3. Lieutenant	5	6
4. Sergeant	20	19
5. Corporal	21	21
6. Police Officer	121	121
<i>Totals:</i>	<i>171</i>	<i>171</i>

The classification of Assistant Police Chief is the rank/classification immediately below the Police Chief/Department Head. As such, that position is established by the City Council and will remain a position to which the Department Head may appoint the occupant, in accordance with §143.014 of the Texas Local Government Code. The Police Chief/Department Head position is not included in

the positions listed above.

II.

Severability: If any provision, section, clause, sentence, or phrase of this ordinance is for any reason held to be unconstitutional, void, invalid, or un-enforced, the validity of the remainder of this ordinance or its application shall not be affected, it being the intent of the City Council in adopting this ordinance that no portion, provision, or regulation contained herein shall become inoperative or fail by way of reasons of any unconstitutionality or invalidity of any other portion, provision, or regulation.

III.

Repealer: All ordinances and resolutions, or parts thereof, which are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters ordained herein.

IV.

It is hereby officially found and determined that the meeting at which this ordinance was passed was open to the public as required by law.

V.

This ordinance shall take effect upon the second and final reading, signatures required by City Charter, and filing with the City Secretary's Office.

PASSED AND APPROVED: First reading this 11th day of August, 2025.

PASSED AND APPROVED: Second reading this 18th day of August, 2025.

CITY OF NEW BRAUNFELS, TEXAS:

Neal Linnartz, Mayor

ATTEST:

Gayle Wilkinson, City Secretary

APPROVED AS TO FORM:

Valeria M. Acevedo, City Attorney

8/11/2025

Agenda Item No. F)

PRESENTER:

Matthew Simmont, AICP Planning Manager

SUBJECT:

Approval of the second and final reading of an ordinance to rezone approximately 0.3 acres out of Kuehler Addition Subdivision, New City Block 1055, Lot 9 from C-3 (Commercial District) to C-3 SUP (Commercial District with a Special Use Permit to allow Short Term Rental of a Residence), currently addressed as 1070 Sanger Avenue.

DEPARTMENT: Planning and Development Services**COUNCIL DISTRICTS IMPACTED:** 5**BACKGROUND INFORMATION:****Case No:** SUP25-144**Applicant/Owner:**

Martha and Justin Dixon

(830) 237-4566 | martha@50foot.com

Staff Contact:

Amanda Mushinski, AICP, CNU-A

(830) 221-4056 | amushinski@newbraunfels.gov

The City Council held a public hearing on July 28, 2025 and unanimously approved the first reading of the applicant's requested rezoning ordinance (7-0-0).

The subject 0.3-acre property is located at the northwest corner of the intersection of Sanger Avenue and Kessler Street, approximately 150 feet southwest of Faust Street Bridge. It is bordered on all sides by C-3 zoning. Adjacent land uses consist of single-family and multifamily residential.

The 1930s residence comprises roughly 897 square feet with 2 bedrooms and 2 bathrooms. This rezoning application is proposed to allow the short-term rental (STR) of the existing home. Per the Zoning Ordinance, the maximum occupancy of an STR with 2 bedrooms and 2 bathrooms is 6 occupants, and the minimum off-street parking is 2 paved spaces. If approved, the applicant will be required to provide a paved driveway with two paved parking spaces.

ISSUE:

Short-term rental standards in the Zoning Ordinance help to ensure proper measures are in place to protect public health, safety, and neighboring properties. If this rezoning request is approved, the registration of the short-term rental and online payment of hotel occupancy taxes are required. Also, the project must comply with all other City Code standards.

There are currently 12 approved short term rental SUPs within one-half mile of the subject property, 5 of which

are active.

COMPREHENSIVE PLAN REFERENCE:

This request is consistent with the following actions from Envision New Braunfels:

- **Action 1.3:** Encourage balanced and fiscally responsible land-use patterns.
- **Action 1.14:** Ensure regulations do not unintentionally inhibit the provisions of a variety of flexible and innovative lodging options and attractions.

Future Land Use Plan: The subject property is located within the New Braunfels Sub Area, near existing Market and Outdoor Recreation centers.

STRATEGIC PLAN REFERENCE:

☒ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☐ Community Well-Being ☐ N/A

- Incentivize mixed-use developments and redevelopments in targeted locations to create a built environment with integrated housing, commercial centers, and opportunities for improved connectivity.

FISCAL IMPACT:

The proposed rezoning request is in alignment with the following recommendations and strategies of the Land Use Fiscal Analysis:

- Provide a mix of uses and building types, heights, and sizes in a more walkable context to produce more value and fiscal productivity.
- Mix of uses (residential and short-term rental) developed on a single parcel of land increases revenue to cover costs of services.

If approved, the property will be subject to local and state hotel occupancy tax (HOT).

RECOMMENDATION:

Staff recommends approval of the applicant's request with the following conditions:

1. The residential character of the property must be maintained.
2. The property will remain in compliance with the approved site plan and floor plan. Any significant changes to the site plan or floor plan will require a revision to the SUP.
3. A paved driveway with two paved parking spaces must be available for use prior to the issuance of a Short-Term Rental Permit.

Code of Ordinances Sec. 144-2.1 *Changes and Zoning Amendments:*

(b) *Considerations for approving or denying a zoning change.* In making a determination regarding a requested zoning change, the planning commission and the city council shall consider the following factors:

- (1) Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned, and their relationship to the general area and to the city as a whole;
- (2) Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;
- (3) How other areas designated for similar development will be, or are likely to be, affected if the proposed amendment is approved;
- (4) Any other factors that will substantially affect the public health, safety, morals, or general welfare; and
- (5) Whether the request is consistent with the comprehensive plan.

The Planning Commission held a public hearing on July 1, 2025, and unanimously recommended approval (9-0).

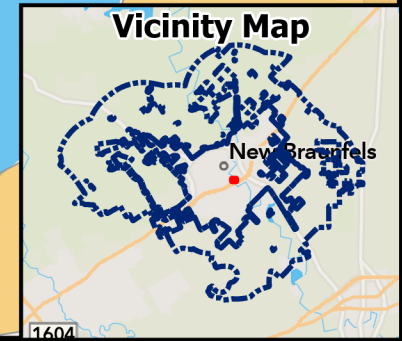
Mailed notification as required by state statute:

Public hearing notices were sent to owners of 14 properties within 200 feet of the request. As of the date this agenda memo was prepared, the city has received responses representing 8% in opposition.

Resource Links:

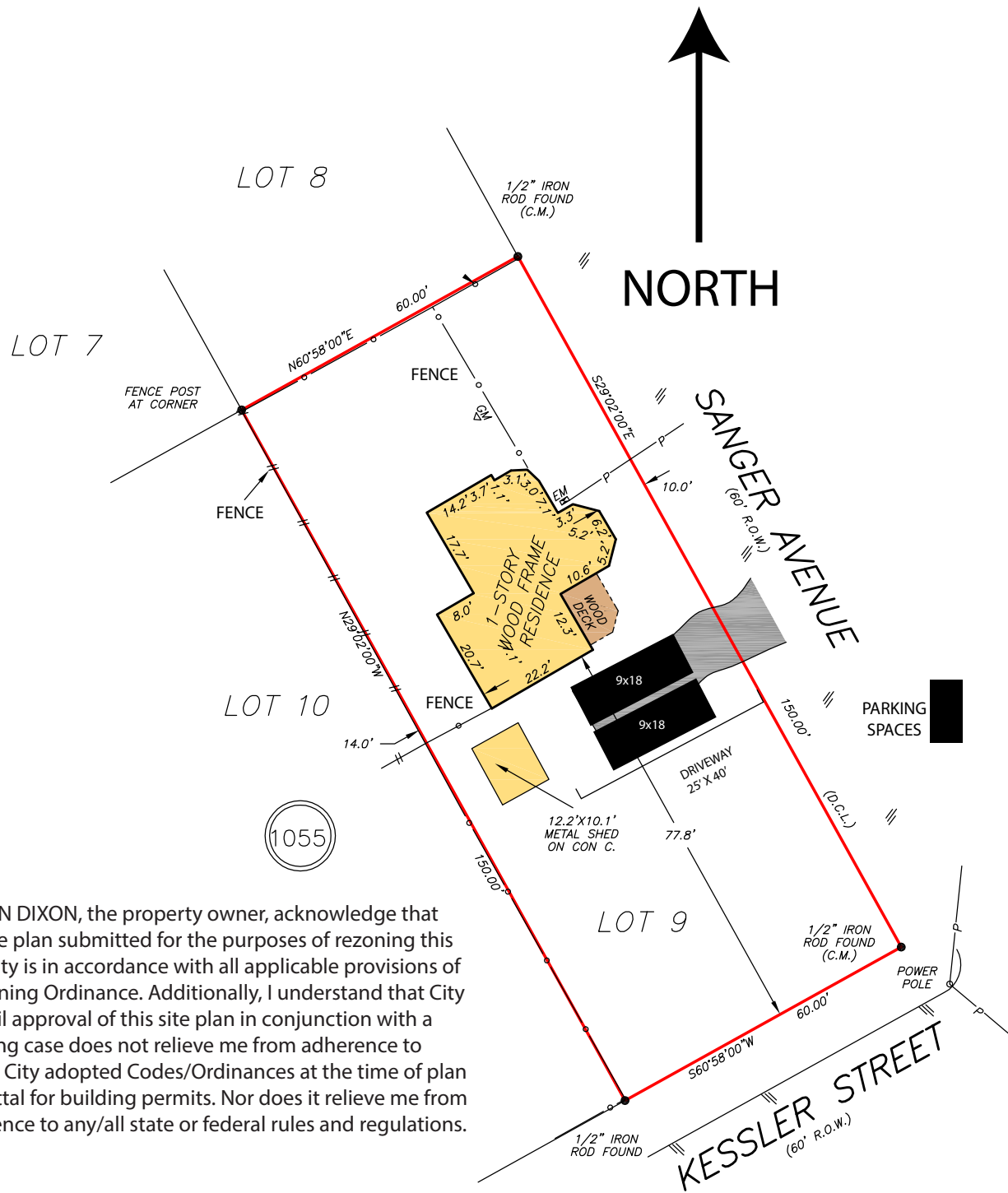
- Chapter 144, Sec. 144-3.3-9 (C-3) of the City's Code of Ordinances:
https://library.municode.com/tx/new_braunfels/codes/code_of_ordinances?
- Chapter 144, Sec. 3.6 (SUP) of the City's Code of Ordinances:
https://library.municode.com/tx/new_braunfels/codes/code_of_ordinances?
- Chapter 144, Sec. 5.17 (Short-term Rental) of the City's Code of Ordinances:
https://library.municode.com/tx/new_braunfels/codes/code_of_ordinances?



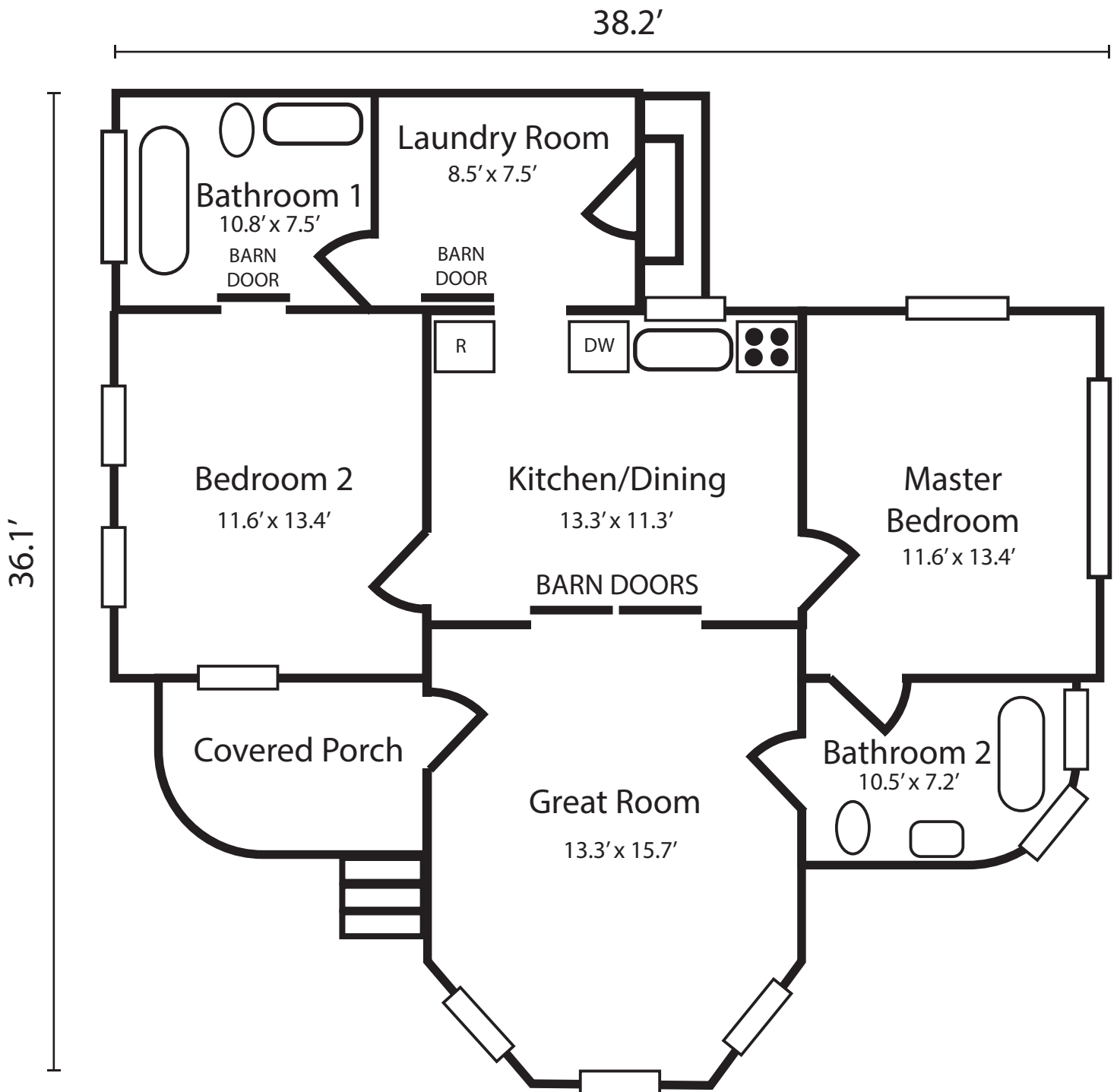






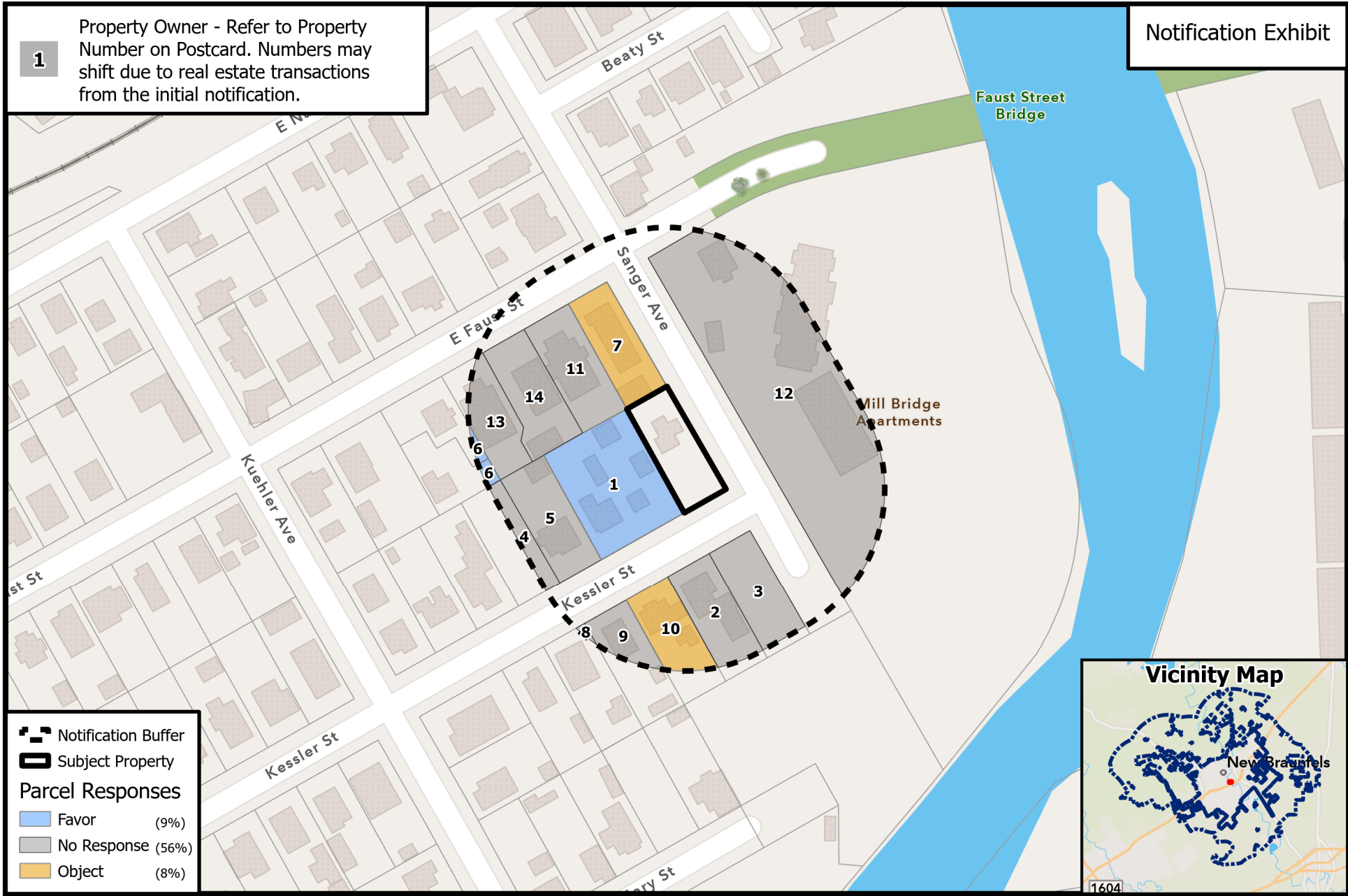


I JUSTIN DIXON, the property owner, acknowledge that this site plan submitted for the purposes of rezoning this property is in accordance with all applicable provisions of the Zoning Ordinance. Additionally, I understand that City Council approval of this site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted Codes/Ordinances at the time of plan submittal for building permits. Nor does it relieve me from adherence to any/all state or federal rules and regulations.





1070 Sanger Ave



PLANNING COMMISSION – July 1, 2025 – 6:00PM

City Hall Council Chambers

Applicant: Martha and Justin Dixon

Address/Location: 1070 Sanger Ave

SUP25-144

The numbers on the map correspond to the property owners listed below. All information is from the Appraisal District Records. The property under consideration is marked as “Subject Property”.

- | | |
|---|------------------------------------|
| 1. HAAS EWALD R & EVELYN M | 9. RICHARDS TRISTAN & JANNA K LOTT |
| 2. SCHWARZ BRUCE ALAN | 10. CRENWELGE KARL G |
| 3. BALCONES VISTA PHASE 1 LLC | 11. MATTIE SUE LLC |
| 4. NUCKELS RICHARD JOHN JR | 12. MILL BRIDGE MFAP LLC |
| 5. MAXWELL SYLVIA J | 13. FANNIE MAE LLC |
| 6. DAIGLE PROPERTY HOLDINGS LLC | 14. HARDEN CLARENCE & JILL |
| 7. BRAUNE ERWIN W & ARLYNE J | |
| 8. DAWSON WILLIAM S & ALEXANDRA R
PARKER | |

SEE MAP

HAAS EWALD R & EVELYN M

365 KESSLER ST

NEW BRAUNFELS TX 78130

Property #: 1

SUP25-144

Case Manager: AM

FAVOR ☒

OPPOSE ☐

COMMENTS



DAIGLE PROPERTY HOLDINGS LLC

922 RIVER TERRACE

NEW BRAUNFELS TX 78130

Property #: 6

SUP25-144

Case Manager: AM

COMMENTS



FAVOR ☒
OPPOSE ☐

This is a
GREAT thing
for our community.
Big YES in FAVOR from
350 E Faust St. &
354 E Faust St. (We should have
2 votes since we
own 2 lots!!!)

CRENWELGE KARL G

5 RIDGE DR

NEW BRAUNFELS TX 78130

Property #: 10

SUP25-144

Case Manager: AM



FAVOR ☐

OPPOSE ☒

COMMENTS

Zoning regulations exist to protect existing property owners. Changing zoning to allow short term rentals will affect the value of my property. The requestors for rezoning purchased this property in 2023 knowing the zoning of the property. They shouldn't, at their whim, be able to rezone their property affecting the values of neighboring properties.

BRAUNE ERWIN W & ARLYNE J

394 E FAUST ST

NEW BRAUNFELS TX 78130

Property #: 7

SUP25-144

Case Manager: AM

COMMENTS

FAVOR ☐

OPPOSE ☒



Draft Minutes for the July 1, 2025, Planning Commission Regular Meeting

- A) SUP25-144 Public hearing and recommendation to City Council to rezone approximately 0.3 acres out of Kuehler Addition Subdivision, New City Block 1055, Lot 9 from C-3 (Commercial District) to C-3 SUP (Commercial District with a Special Use Permit to allow Short Term Rental of a Residence), currently addressed as 1070 Sanger Ave. (Applicant/Owner: Martha and Justin Dixon; Case Manager: Amanda Mushinski, Planner, AICP, CNU-A)**

Amanda Mushinski presented the aforementioned item and recommended approval with the conditions listed in the staff report.

Chair Sonier asked if there were any questions for staff.

No one spoke.

Chair Sonier invited the applicant to speak on the item.

Justin Dixon stated he was present to answer any questions.

Brief discussion followed on the intent of the request.

Chair Sonier opened the public hearing and asked if any present wished to speak on the item.

No one spoke.

Chair Sonier closed the public hearing.

Chair Sonier asked if there were any further discussion or motion to be made.

Brief discussion followed on parking requirements for short-term rentals.

Motion by Commissioner Schaefer, seconded by Commissioner Nolte, to recommend approval of the item to City Council. Motion carried unanimously (9-0-0).

ORDINANCE NO. 2025-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS REZONING APPROXIMATELY 0.3 ACRES, BEING OUT OF KUEHLER ADDITION SUBDIVISION, NEW CITY BLOCK 1055, LOT 9, CURRENTLY ADDRESSED AS 1070 SANGER AVE, FROM C-3 (COMMERCIAL DISTRICT) TO C-3 SUP (COMMERCIAL DISTRICT WITH A SPECIAL USE PERMIT TO ALLOW SHORT TERM RENTAL OF A RESIDENCE); REPEALING ALL ORDINANCES IN CONFLICT; CONTAINING A SAVINGS CLAUSE; AND DECLARING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of New Braunfels has complied with all requirements of notice of public hearing as required by the Zoning Ordinance of the City of New Braunfels; and

WHEREAS, in keeping with the spirit and objectives of a Special Use Permit, the City Council has given due consideration to all components of said permit; and

WHEREAS, the City recognizes that granting such a permit is possible while promoting the health, safety and general welfare of the public, by providing harmony between existing zoning districts and land uses; and

WHEREAS, it is the intent of the City to ensure for the health, safety and general welfare of the public by providing compatible and orderly development, which may be suitable only in certain locations in a zoning district through the implementation of a Special Use Permit meeting those requirements cited in Sections 3.6-2 and 3.6-3, Chapter 144 of the New Braunfels Code of Ordinances; and

WHEREAS, the property is located in an area suitable for short term rental use; and

WHEREAS, the requested rezoning is in accordance with Envision New Braunfels, the City's Comprehensive Plan; and

WHEREAS, the requested rezoning is in accordance with the City's Strategic Plan; and

WHEREAS, the City Council desires to grant a Special Use Permit at 1070 Sanger Avenue, to allow short term rental of a residence in the C-3 (Commercial District); **now, therefore;**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

SECTION 1

THAT pursuant to Section 1.2-3, Chapter 144 of the New Braunfels Code of Ordinances, the Zoning Map of the City of New Braunfels is revised by adding the following tract of land as a "Special Use Permit" for the uses and conditions herein described:

Being out of Kuehler Addition Subdivision, New City Block 1055, Lot 9, being as depicted on Exhibit "A" attached.

SECTION 2

THAT the Special Use Permit be subject to the following additional conditions:

1. The residential character of the property must be maintained.
2. A paved driveway with two paved parking spaces must be available for use prior to the issuance of a Short-Term Rental Permit
3. The property will remain in compliance with the approved site plan Exhibit "B" and floor plan Exhibit "C". Any significant changes to the site plan will require a revision to the SUP.

SECTION 3

THAT all other ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent that they are in conflict.

SECTION 4

THAT if any provisions of this ordinance shall be held void or unconstitutional, it is hereby provided that all other parts of the same which are not held void or unconstitutional shall remain in full force and effect.

SECTION 5

THIS ordinance will take effect upon the second and final reading in accordance with the provisions of the Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this 28th day of July 2025.

PASSED AND APPROVED: Second reading this 11th day of August 2025.

CITY OF NEW BRAUNFELS

NEAL LINNARTZ, Mayor

ATTEST:

GAYLE WILKINSON, City Secretary

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, City Attorney

Exhibit "A"



SUP25-144 1070 Sanger Ave - SUP for STR

0 90 180
Feet

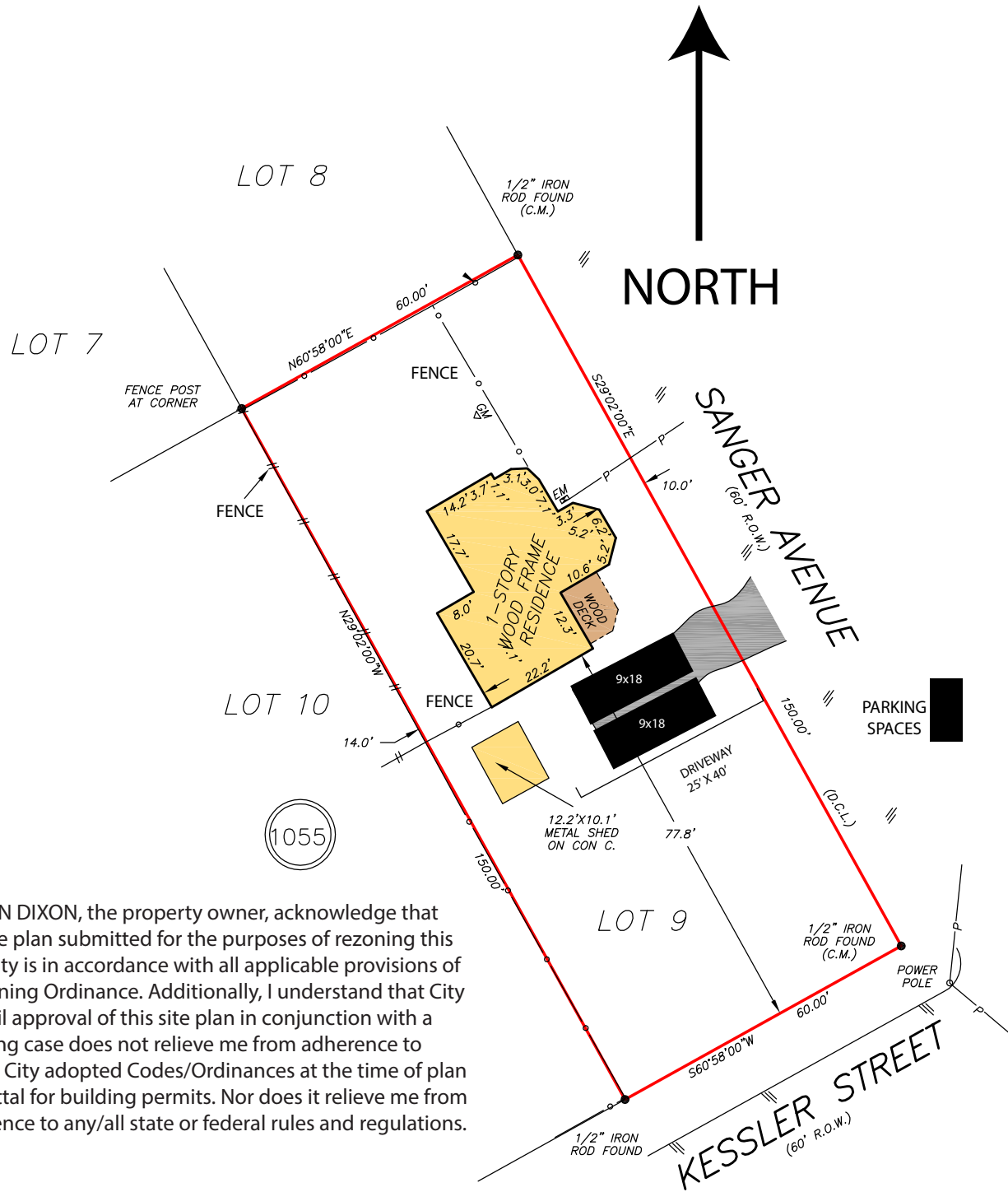


Path:
P:\ZoneChange & SUPs\2025\SUP25-144 - 1070 Sanger Ave - SUP for

Source: City of New Braunfels Planning
Date: 6/26/2025

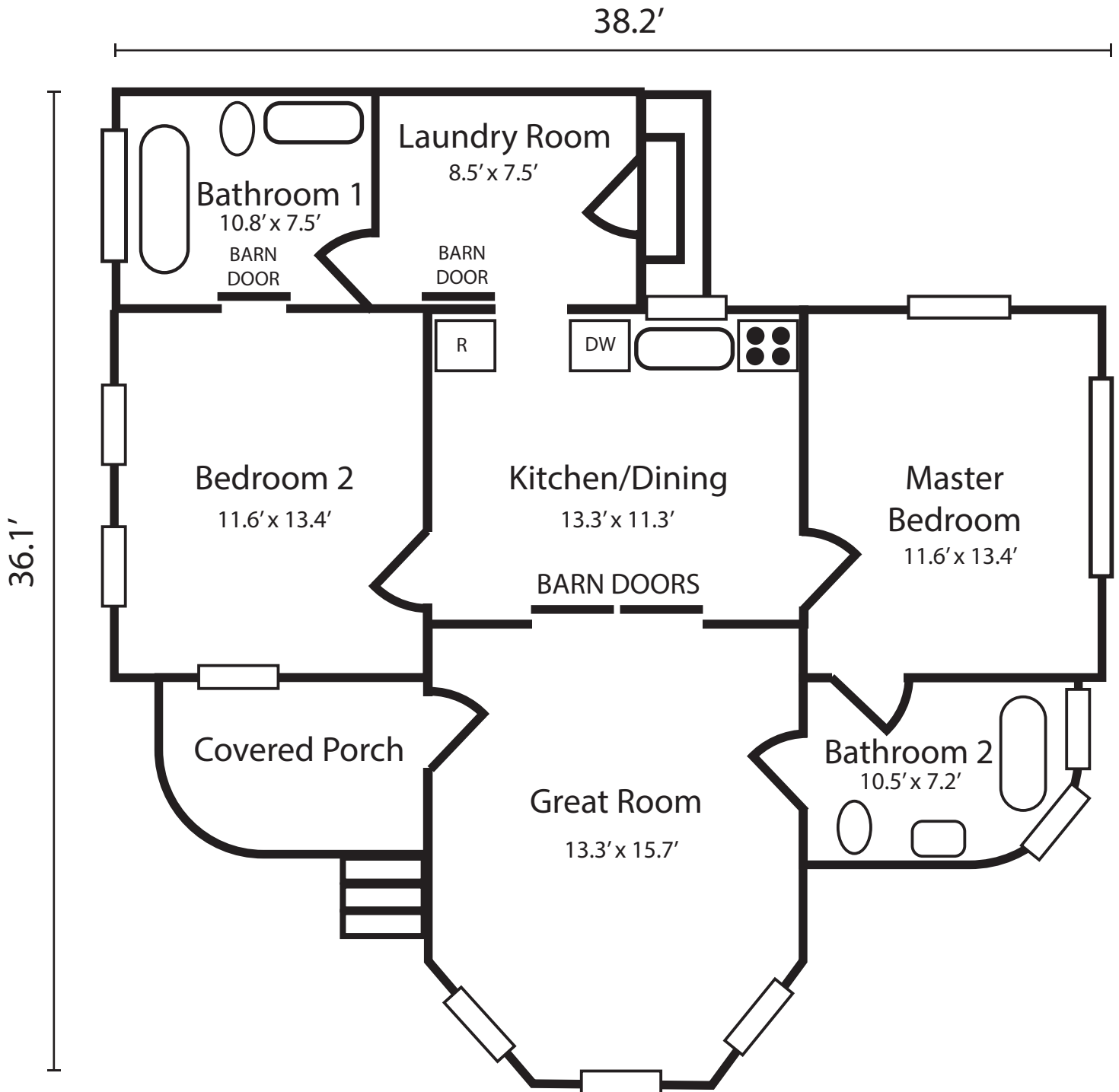
DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of New Braunfels. Any use or reliance on this map by else is at that party's risk and without liability to the City of New Braunfels officials or employees for any discrepancies, errors, or variances which may

Exhibit "B"



I JUSTIN DIXON, the property owner, acknowledge that this site plan submitted for the purposes of rezoning this property is in accordance with all applicable provisions of the Zoning Ordinance. Additionally, I understand that City Council approval of this site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted Codes/Ordinances at the time of plan submittal for building permits. Nor does it relieve me from adherence to any/all state or federal rules and regulations.

Exhibit "C"



8/11/2025

Agenda Item No. G)

PRESENTER:

Carly Farmer, Assistant City Engineer

SUBJECT:

Approval of the second and final reading of an ordinance to create Section 126-154 of the Code of Ordinances of the City of New Braunfels to set the speed limit on W Klein Road.

DEPARTMENT: Transportation and Capital Improvements

COUNCIL DISTRICTS IMPACTED: 2

BACKGROUND INFORMATION:

City Council unanimously approved the first reading on July 28, 2025.

Staff completed an engineering study to evaluate the appropriate speed limit on W Klein Road between FM 725 and FM 1044. The study was completed due to the completion of a roadway widening project on W Klein Road. The traffic study summary is attached.

Speed limits on Texas roads, including city streets, are set by statute in Section 545.352 of the Texas Transportation Code. The current speed limit on most city residential streets is 30 mph. The statute includes the following prima facie speed limits:

- Street in Urban District - 30 mph
- Alley in Urban District - 15 mph

Speed limits are set to inform motorists of appropriate driving speeds under favorable conditions. Regardless of the posted speed limit, some drivers will operate at speeds where they feel comfortable, given the design of the road and development/activity along the roadside. The overall goal of setting the speed limit is to increase safety within the context of retaining reasonable mobility for motorists.

Traffic data collection, review of crash history, and a site investigation were conducted for W Klein Road in May 2025 after completion of the W Klein Road widening project. The data collection points were selected to represent the differing adjacent land uses along different segments of the roadway. There were 31 total reported crashes between April 2022 and April 2025, five of which were speeding related.

Based on the site investigation and collected speed data, it is recommended that the regulatory speed limit on W Klein Road be revised to 35 mph from the intersection with FM 725 to the intersection with FM 1044. The measured 85th percentile speeds in the 40-43 mph range do not support a speed limit of 30 mph. However, the

direct residential driveway access and pedestrian activity around the multiple schools in the area are conditions for which a 40-mph speed limit is not suitable. The median and pace speeds are indicative that a 35-mph speed limit is appropriate and in line with traffic speeds for the majority of vehicles traveling on W Klein Road. The 35-mph speed limit is also consistent with the regulatory speed limits posted on Walnut Avenue and County Line Road, both multi-lane arterials with similar functionality and in the same region of the city as W Klein Road.

The only instance in which a city may lower a speed limit without a traffic study, to as low as 25 miles per hour, is if the road is in an urban district, is less than four lanes, and is not a state highway. It is important to note that national and local research and data have shown that reducing the posted speed limit has little to no effect in reducing operating speeds.

ISSUE:

The posted speed limit for W Klein Road has been reevaluated due to completion of a roadway widening project.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☒ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

Traffic control signs cost approximately \$150 each. Sufficient funding is available in the FY 2025 Approved Streets and Drainage Budget.

RECOMMENDATION:

Transportation and Traffic Advisory Board

The Transportation and Traffic Advisory Board unanimously recommended approval at their July 10, 2025 meeting.

Staff

Staff recommends updating the regulatory speed limit on W Klein Road between FM 725 and FM 1044 to 35 mph.

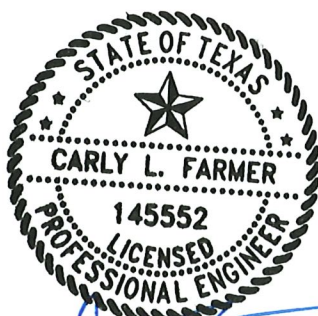
Traffic Study Summary

Date:	July 2, 2025
Recommendation:	Increase the speed limit on W Klein Road between FM 725 and FM 1044 to 35 mph
Prepared By:	Carly L Farmer, PE, CFM
Reviewed By:	Garry L Ford, PE, PTOE

Background

An engineering study was completed to evaluate the appropriate speed limit on W Klein Road between FM 725 and FM 1044. The study was completed due to the completion of a roadway widening project on W Klein Road. The statutory maximum speed limit in the City of New Braunfels is 30 miles per hour (mph) except where otherwise established by ordinance and posted by official traffic signs. The city may alter speed limits based on the result of an engineering study.

W Klein Road is an approximately 3-mile-long minor arterial that spans from FM 725 to FM 1044. It is primarily a four-lane roadway with turn lanes from FM 725 to Klein Meadows/Calandra Lark, providing access to commercial and residential uses, schools, and the city's new sports park and library. The posted speed limit on W Klein Road is 30 mph from FM 725 to a point 2,000 feet east of the intersection with FM 1044. The speed limit is then posted at 35 mph up to the intersection with FM 1044. There is a school zone on W Klein Road at Klein Way for Klein Road Elementary School and New Braunfels Middle School. During the active hours of the school zone, the speed limit is 20 mph. W Klein Road is currently signalized at the intersections of FM 725, Walnut Avenue, and FM 1044. There is a pedestrian hybrid beacon installed across W Klein Road at Klein Way. Additionally, there are two uncontrolled and marked crosswalks crossing W Klein Rd at Dove Crossing Drive and Legend Park. The current speed limits, school zone, traffic signals, and crosswalks are shown in Figure 1.



Carly L. Farmer
7/2/2025



Garry L. Ford, Jr.
7/2/2025

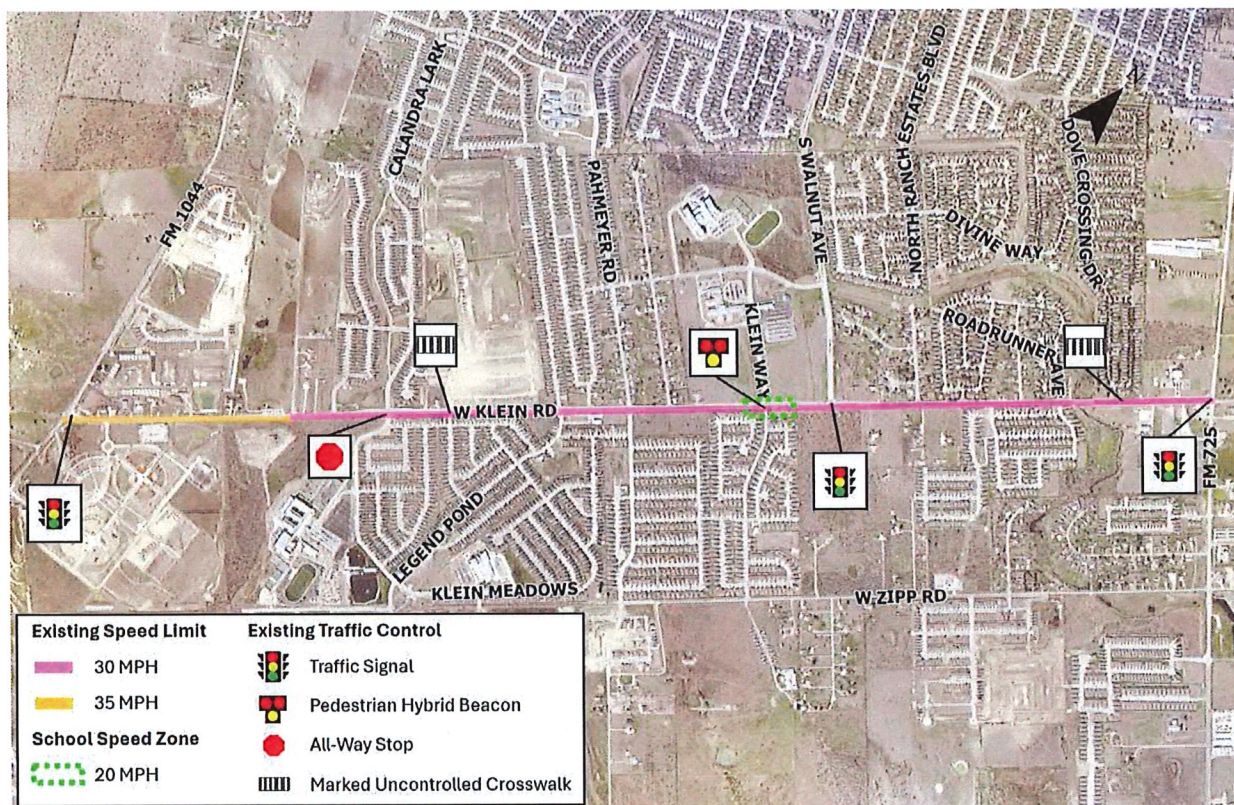


Figure 1. W Klein Road Traffic Conditions

A future traffic signal and school zone are planned for W Klein Road at Klein Meadows/Calandra Lark as shown in Figure 2. The new traffic signal is under design by NBISD, and the intersection is currently all-way stop-controlled in anticipation of the signal. A future school zone for Long Creek High School is planned at the intersection and is planned to have a speed limit of 20 mph during active hours.

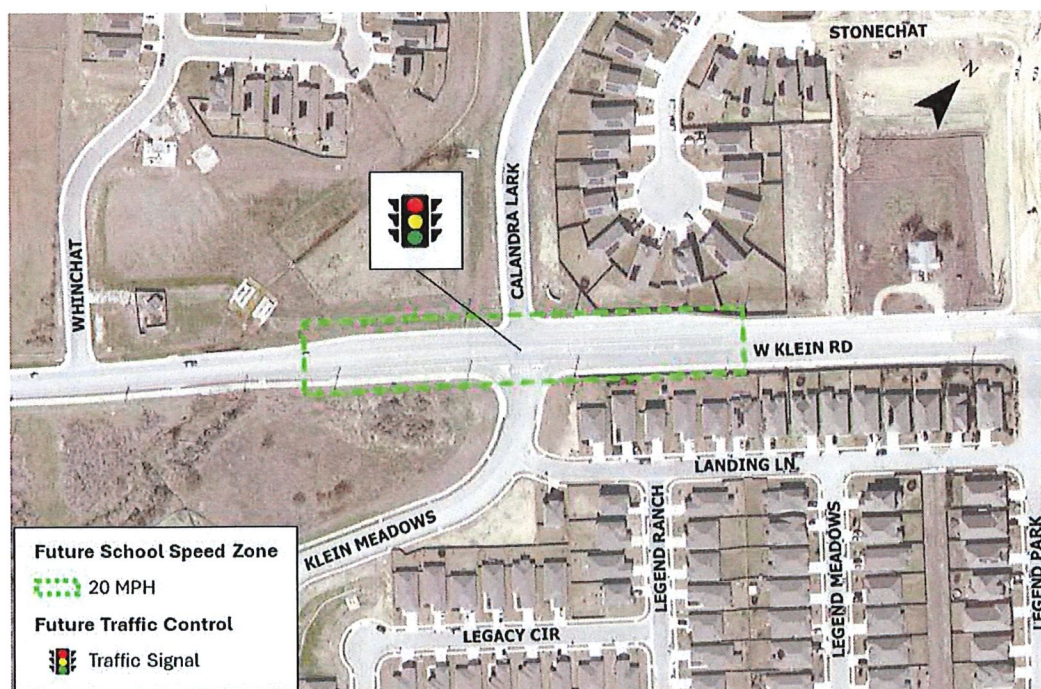


Figure 2. Future Improvements on W Klein Road at Klein Meadows/Calandra Lark

The city recently completed the second of a two-phase road widening project on W Klein Road between FM 725 and FM 1044. The project expanded the roadway from a narrow, two-lane road to a multi-lane facility, including turn lanes at key intersections and pedestrian improvements such as sidewalks and a continuous shared use path on the south side of the roadway. The completion of the project and the shift in traffic patterns due to development in the area warrant reevaluating the speed limit.

Guidance

Speed limits applicable to public streets are established:

- Statutorily- a maximum speed limit applicable to a particular class of road that is established by State law; or
- As altered speed zones - based on engineering studies.

Engineering studies for recommending speed limits utilized by the city's Transportation and Capital Improvements Department are based on the Texas Manual on Uniform Traffic Control Devices (TMUTCD) and new speed limit setting guidance in the latest federal Manual on Uniform Traffic Control Devices and Speed Limit Setting Handbook. The primary factors considered in the engineering study include:

- **Roadway environment** (such as roadside development, number and frequency of driveways and access points, and land use), functional classification, public transit volume and location or frequency of stops, parking practices, and pedestrian and bicycle facilities and activity;
- **Roadway characteristics** (such as lane widths, shoulder condition, grade, alignment, median type, and sight distance);
- **Geographic context** (such as urban district, rural town center, non-urbanized rural area, or suburban area) and multimodal trip generation;
- **Reported crash experience** for at least a 12-month period;
- **Speed distribution of free-flowing vehicles**, including the pace, median (50th-percentile), and 85th-percentile speeds;
- **Review of past speed studies** to identify any trends in operating speeds.

Other relevant factors may also be considered depending on the specific needs of the study approach and study area.

A city may declare a lower speed limit of not less than 25 miles per hour if the governing body determines that the prima facie speed limit on the streets is unreasonable or unsafe. By State Law, a traffic engineering study is required in order for a city to lower a speed limit below 25 mph.

Site Investigation

Site investigations and a traffic study were completed for W Klein Road in the Spring of 2025. W Klein Road provides direct access to multiple commercial businesses and churches, as well as the Zipp Family Sports Park. Many residential subdivisions connect to W Klein Road, but there are some homes with driveways fronting the roadway that require backing into W Klein Road.

City staff determined that the current posted speed limit of 35 mph on the western end of W Klein Road is not supported by ordinance. This is likely because that portion of W Klein Road was once county-maintained before it was annexed by the city. Any posted speed limit other than 30 mph is required to be documented in the City of New Braunfels Code of Ordinances.

Two site factors, roadway environment and characteristics, inform the engineering to a considerable extent. The roadway environment encourages pedestrian and bicycle activity, with access noted previously, and a shared-use path on the corridor. A shared-use path is a facility that accommodates both pedestrians and bicycles, designed for use by individuals of all abilities. Due to right-of-way constraints associated with the project, the shared-use path is adjacent to the curb and travel lane with no continuous street lighting. It is preferred that a shared-use path be separated from the curb and travel lane by a minimum of four feet.

Additionally, there are pedestrian crossings across Klein Road at the traffic signals, pedestrian hybrid beacon, and unmarked crosswalks. One is associated with a community need at Klein Way, which is also a school zone. An upcoming crossing will be at Calandra Lark, connecting to another shared-use path in the Voss Farms subdivision that is part of the city's overall hike and bike network, with the Zipp Family Sports Park as a destination.

Crash History

Traffic crash data for April 2022 through April 2025 was found through TxDOT's Crash Records Information System. There were 31 reported crashes on W Klein Road during this time, of which five were speeding-related.

Data Collection

Traffic speed and volume data were collected in April 2025 for multiple locations along W Klein Road. The data collection points were selected to represent the differing adjacent land uses along different segments of these roadways. The average daily traffic (ADT) and the pace, 50th percentile (median), and 85th percentile speeds for each collection point are documented in Table 1.

Table 1. Traffic Speed and Volume Data on W Klein Road

Limits	Direction	ADT (vpd)	*Pace speed (mph)	50 th % speed (mph)	85 th % speed (mph)
Dove Crossing Dr to Roadrunner Ave	Eastbound	4,639	30-40	37	43
	Westbound	3,782	30-40	35	41
Ranch Estates Blvd to Walnut Ave	Eastbound	4,454	30-40	37	43
	Westbound	3,610	30-40	35	41
Klein Way to Savannah Hill Cir	Eastbound	4,757	30-40	33	40
	Westbound	4,667	30-40	34	41
Legend Pond to Legend Park	Eastbound	3,163	30-40	35	40
	Westbound	3,261	30-40	37	43
Whinchat to FM 1044	Eastbound	3,310	30-40	35	40
	Westbound	3,368	30-40	36	43

*Pace speed is derived from speed data binned in 5mph increments

Recommendation

Based on the site investigation and collected speed data, it is recommended that the regulatory speed limit on W Klein Road be revised to 35 mph from the intersection with FM 725 to the intersection with FM 1044. The measured 85th percentile speeds in the 40-43 mph range do not support a speed limit of 30 mph. However, the direct residential driveway access and pedestrian activity around the multiple schools in the area are conditions for which a 40-mph speed limit is not suitable. The median and pace speeds are indicative that a 35-mph speed limit is appropriate and in line with traffic speeds for the majority of vehicles traveling on W Klein Road. The 35-mph speed limit is also consistent with the regulatory speed limits posted on Walnut Avenue and County Line Road, both multi-lane arterials with similar functionality and in the same region of the city as W Klein Road.

ORDINANCE NO. 2025-_____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW
BRAUNFELS, TEXAS, CREATING SECTION 126-154 TO SET THE
SPEED LIMIT ON W KLEIN ROAD.**

WHEREAS, after engineering and field investigation, the City Engineer has recommended that traffic control signs be installed on certain streets, avenues, thoroughfares and boulevards within the corporate limits of the City of New Braunfels in order to protect the health, safety and welfare of the citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

I.

THAT the City of New Braunfels Code of Ordinances Section 126-154 is hereby created to read:

Sec. 126-154. – Speed limit on W Klein Road.

- (a) The maximum, reasonable and prudent speed limit on the section of W Klein Road from FM 725 to FM 1044 shall be no greater than 35 miles per hour.

II.

THAT all provisions hereof are hereby declared to be severable and if any provisions hereof is declared to be invalid or unconstitutional, such shall not invalidate or affect the remaining provisions hereof which will be and remain in full force and effect.

III.

THAT it is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance.

IV.

This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office. This Ordinance must also be published in a newspaper of general circulation at least one time within ten (10) days after its final passage, as required by the City Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this the 28th day of July, 2025.

PASSED AND APPROVED: Second reading this the 11th day of August, 2025.

CITY OF NEW BRAUNFELS, TEXAS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, CITY ATTORNEY

8/11/2025

Agenda Item No. H)

PRESENTER:

Carly Farmer, Assistant City Engineer

SUBJECT:

Approval of the second and final reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on Kentucky Boulevard and Canyon Drive.

DEPARTMENT: Transportation and Capital Improvements

COUNCIL DISTRICTS IMPACTED: 3

BACKGROUND INFORMATION:

City Council unanimously approved the first reading on July 28, 2025.

Engineering staff received multiple requests from the community around New Braunfels High School (NBHS) concerning school traffic on Kentucky Boulevard. NBHS students, residents, and New Braunfels Police Department staff have requested that engineering staff investigate the issue of parked vehicles obstructing through traffic on the street and causing hazardous conditions for pedestrians and cyclists. NBHS is located along Loop 337 near SH 46. Kentucky Boulevard is a local street that provides access from the surrounding residential areas to the rear of the school where the majority of the on-campus parking is located. Kentucky Boulevard has a pavement width of approximately 30 feet and is uncurbed with no sidewalks. The posted speed limit on Kentucky Boulevard is 20 mph.

Site visits were conducted by staff in Spring and Summer 2025 on Kentucky Boulevard. Heavy parking activity has been documented along both sides of Kentucky Boulevard between Canyon Drive and Ohio Avenue. Staff consulted with New Braunfels Police Department and NBHS Student Resource Officers, who indicated that the daily parking activity resulted in congestion of the street, especially during morning drop-off/arrival and afternoon pick-up/departure for NBHS. Students walking to and from the parked vehicles and walking or biking to and from home were observed weaving between the parked vehicles or walking in the narrowed roadway while navigating the vehicular traffic moving through the street.

A no parking zone is recommended on the west side of Kentucky Boulevard between Ohio Avenue and Canyon Drive. At the intersection of Kentucky Boulevard and Canyon Drive, additional no parking areas are recommended to preserve intersection safety and operations. A pavement marking plan has been prepared that allocates two ten-foot lanes for two-way traffic and a seven-foot parking lane with a three-foot buffer on the east side of Kentucky Boulevard. Removing parking on one side of the roadway maintains two-way traffic flow that is needed to efficiently funnel traffic between the school and the area neighborhoods. Providing a parking lane and buffer will reduce conflict points between through traffic, parked vehicles, and pedestrians and cyclists while preserving some of the on-street parking inventory for students and the adjacent residences. The

recommendation was reviewed and is supported by the New Braunfels Police Department and NBHS Student Resource Officers.

ISSUE:

The community surrounding New Braunfels High School has requested parking restrictions and safety improvements on Kentucky Boulevard.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☒ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

The signs and pavement markings have a total cost estimate of \$6,000. There is sufficient funding in the FY 2025 Streets and Drainage Budget to cover this expenditure.

RECOMMENDATION:

Transportation and Traffic Advisory Board

The Transportation and Traffic Advisory Board unanimously recommended approval at their July 10, 2025 meeting.

Staff

Staff recommends restricting parking on portions of Kentucky Boulevard between Ohio Avenue and Canyon Drive and on Canyon Drive at the intersection with Kentucky Boulevard.

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LEGEND
--- NO PARKING

NO.	DATE	REVISION	APPROV.

**City of
New Braunfels**
ENGINEERING DIVISION

KENTUCKY BLVD STRIPING LAYOUT
SCALE: 1"=30' SHEET: 1 OF 2

150

ITEM DESCRIPTION	UNIT	EST	FINAL
REFL PAV MRK TY I(W)6"(SLD)(100MIL)	LF	786	
REFL PAV MRK TY I(W)12"(SLD)(100MIL)	LF	320	
REFL PAV MRK TY I(W)24"(SLD)(100MIL)	LF	10	
REFL PAV MRK TY I(Y)6"(SLD)(100MIL)	LF	755	

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LEGEND

--- NO PARKING

ITEM DESCRIPTION	UNIT	EST	FINAL
REFL PAV MRK TY 1(W)6\"(SLD)(100MIL)	LF	214	
REFL PAV MRK TY 1(W)12\"(SLD)(100MIL)	LF	100	
REFL PAV MRK TY 1(W)24\"(SLD)(100MIL)	LF	41	
REFL PAV MRK TY 1(Y)6\"(SLD)(100MIL)	LF	322	

NO.	DATE	REVISION	APPROV.



City of

New Braunfels

ENGINEERING DIVISION

KENTUCKY BLVD STRIPING LAYOUT
SCALE: 1"=30' SHEET: 2 OF 2

ORDINANCE NO. 2025-_____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW
BRAUNFELS, TEXAS, AMENDING SECTION 126-346 TO RESTRICT
PARKING ON KENTUCKY BOULEVARD AND CANYON DRIVE**

WHEREAS, after engineering and field investigation, the City Engineer has recommended that traffic control signs be installed on certain streets, avenues, thoroughfares and boulevards within the corporate limits of the City of New Braunfels in order to protect the health, safety and welfare of the citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

I.

THAT the City of New Braunfels Code of Ordinances Section 126-346 (f) is hereby amended as follows:

- (141) On the west side of Kentucky Boulevard from the intersection with Ohio Avenue to a point 36 feet south of the intersection with Canyon Drive. Such no parking zone shall be designated as a tow-away zone.
- (142) On the east side of Kentucky Boulevard from a point 480 feet south of the intersection with Ohio Avenue southerly for a distance of 175 feet. Such no parking zone shall be designated as a tow-away zone.
- (143) On both sides of Canyon Drive from the intersection with Kentucky Boulevard westerly for a distance of 65 feet. Such no parking zone shall be designated as a tow-away zone.

II.

THAT all provisions hereof are hereby declared to be severable and if any provisions hereof is declared to be invalid or unconstitutional, such shall not invalidate or affect the remaining provisions hereof which will be and remain in full force and effect.

III.

THAT it is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance.

IV.

This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office. This Ordinance must also be published in a newspaper of general circulation at least one time within ten (10) days after its final passage, as required by the City Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this the 28th day of July, 2025.

PASSED AND APPROVED: Second reading this the 11th day of August, 2025.

CITY OF NEW BRAUNFELS, TEXAS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, CITY ATTORNEY

8/11/2025

Agenda Item No. I)

PRESENTER:

Sandy Paulos, Director of Finance

SUBJECT:

Approval of the second and final reading of an ordinance, of the City Council of the City of New Braunfels, Texas, accepting and approving an Annual Service Plan Update to the Service and Assessment Plan and updated Assessment Roll for the Solms Landing Public Improvement District; making and adopting findings; providing a cumulative repealer clause; and providing an effective date.

BACKGROUND INFORMATION:

The Solms Landing Public Improvement District (PID) was authorized by City Council on January 14, 2019. The property is approximately 97 acres adjacent to the Creekside shopping area. The purpose of the district is to finance certain improvements authorized by Chapter 372 of the Texas Local Government Code (the PID Act), that promote the interests of the City and confer a special benefit on the Assessed Property within the District.

An ordinance that accepted and approved the Service and Assessment Plan for the District was approved by City Council on November 8, 2021. The PID Act and the terms of the Service and Assessment Plan require that the Service and Assessment Plan be updated annually, along with the Assessment Roll. This ordinance will accept and approve the Annual Service Plan Update to the Service and Assessment Plan for 2025.

ISSUE:

N/A

FISCAL IMPACT:

There is no direct fiscal impact to the City of New Braunfels associated with the approval of the ordinance referenced above. Administrative costs incurred from administering the PID, along with any debt service related to bonds issued for the PID, will be covered from the assessments levied on the properties within the Solms Landing development.

RECOMMENDATION:

Staff recommends approval of the ordinance.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS ACCEPTING AND APPROVING AN ANNUAL SERVICE PLAN UPDATE TO THE SERVICE AND ASSESSMENT PLAN AND UPDATED ASSESSMENT ROLL FOR THE SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT; MAKING AND ADOPTING FINDINGS; PROVIDING A CUMULATIVE REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on January 14, 2019, after due notice, the City Council (the “City Council”) of the City of New Braunfels (the “City”) held a public hearing in the manner required by law on the advisability of the public improvements and services described in the petition as required by Section 372.009 of the Public Improvement District Assessment Act, Chapter 372, Texas Local Government Code, as amended (the “PID Act”) and on January 14, 2019 made the findings required by Section 372.009(b) of the PID Act and, by a resolution (the “Authorization Resolution”) adopted by a majority of the members of the City Council, authorized and created the Solms Landing Public Improvement District (the “District”) in accordance with its finding as to the advisability of the improvement projects and services; and

WHEREAS, pursuant to the PID Act, the City Council published notice and convened a public hearing on November 8, 2021, regarding the levy of Assessments against benefitted property located in the District and the levy of Assessments against benefitted property located in the District; and

WHEREAS, on November 8, 2021, the City Council, after such notice and public hearing, adopted an ordinance (the “Assessment Ordinance”) accepting and approving a service and assessment plan for the District (as updated and amended from time to time, the “Service and Assessment Plan”), approving the Assessment Roll attached thereto as Exhibit F (the “Assessment Roll”) and levying the Assessments on the Assessed Property within the District; and

WHEREAS, pursuant to the PID Act and to the terms of the Service and Assessment Plan, the City Council is required to annually update the Service and Assessment Plan, including the Assessment Roll (each an “Annual Service Plan Update”); and

WHEREAS, pursuant to the PID Act and to the terms of the Service and Assessment Plan, the City Council now wishes to adopt an ordinance accepting and approving the Annual Service Plan Update to the Service and Assessment Plan for 2025, in the form attached hereto as Exhibit A; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

SECTION 1. Terms.

Terms not otherwise defined herein are defined in the Service and Assessment Plan.

SECTION 2. Findings.

The findings and determinations set forth in the preamble above are incorporated herein for all purposes and are hereby adopted.

SECTION 3. Annual Service Plan Update to the Service and Assessment Plan.

The “Solms Landing Public Improvement District 2025 Annual Service Plan Update”, attached hereto as Exhibit A, is accepted and approved pursuant to the PID Act. The Mayor, City Secretary, and any other appropriate officials of the City are hereby authorized to take all necessary actions on behalf of the City to implement the provisions thereof in accordance therewith, including the filing of the Assessment Roll with the Comal County Tax Assessor/Collector.

SECTION 4. Filing in the Real Property Records.

In accordance with Section 372.013(e) of the PID Act, the City Secretary is directed to cause a copy of this Ordinance, including the Annual Service Plan Update to the Service and Assessment Plan for 2025, to be filed with the County Clerk of Comal County to be recorded in the real property records of Comal County, not later than the seventh day after the date the City Council adopts this Ordinance approving the Annual Service Plan Update to the Service and Assessment Plan for 2025.

SECTION 5. Governing Law.

This Ordinance shall be construed and enforced in accordance with the laws of the State of Texas and the United States of America.

SECTION 6. Effect of Headings.

The Section headings herein are for convenience only and shall not affect the construction hereof.

SECTION 7. Cumulative Repealer.

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances or parts thereof in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim, or lawsuit which has been initiated or has arisen under or pursuant to such Ordinance on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 8. Severability.

If any provision of this Ordinance or the application thereof to any circumstance shall be held to be invalid, the remainder of this Ordinance or the application thereof to other circumstances

shall nevertheless be valid, and this governing body hereby declares that this Ordinance would have been enacted without such invalid provision.

SECTION 9. Effective Date.

This Ordinance shall take effect and be in force immediately from and after its adoption on the last date shown below in accordance with Texas Government Code, Section 1201.028, as amended. This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office.

PASSED AND APPROVED: First reading this the ____ day of July, 2025.

PASSED AND APPROVED: Second reading this the ____ day of _____, 2025.

CITY OF NEW BRAUNFELS, TEXAS

Neal Linnartz, Mayor

ATTEST:

Gayle Wilkinson, City Secretary

APPROVED:

Valeria M. Acevedo, City Attorney



SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT 2025 ANNUAL SERVICE PLAN UPDATE

JULY 28, 2025

INTRODUCTION

Capitalized terms used in this 2024 Annual Service Plan Update shall have the meanings set forth in the 2021 Service and Assessment Plan (the “2021 SAP”), used for the benefit of the property in the District.

The District was created pursuant to the PID Act by Resolution No. 2019-R09 on January 14, 2019 by the City Council to finance certain Authorized Improvements for the benefit of the property in the District.

On April 12, 2021, the City Council approved Resolution No. 2021-R14 approving the Amended & Restated Petition for The Creation of a Public Improvement District to Finance Improvements to Solms Landing Development.

On November 8, 2021, the City Council approved Ordinance No. 21-1177 which approved the SAP for the District and levied Assessments to finance the Authorized Improvements to be constructed for the benefit of the Assessed Property within the District.

On August 22, 2022, the City Council approved Ordinance No. 2022-56 which approved the 2022 Annual Service Plan Update. The 2022 Annual Service Plan Update updated the Assessment Roll for 2022.

On August 28, 2023, the City approved the 2023 Annual Service Plan Update for the District by adopting Ordinance No. 2023-59 which updated the Assessment Roll for 2023.

On August 15, 2024, the City approved the 2024 Annual Service Plan Update for the District by adopting Ordinance No. 2024-61 which updated the Assessment Roll for 2024.

The 2021 SAP identified the Authorized Improvements to be constructed for the benefit of the Assessed Parcels within the District, the costs of the Authorized Improvements, the indebtedness to be incurred for the Authorized Improvements, and the manner of assessing the property in the District for the costs of the Authorized Improvements. Pursuant to the PID Act, the 2021 SAP must be reviewed and updated annually. This document is the Annual Service Plan Update for 2024.

The City Council also adopted an Assessment Roll identifying the Assessments on each Lot within the District, based on the method of assessment identified in the 2021 SAP. This 2025 Annual Service Plan Update also updates the Assessment Roll for 2025.

PARCEL SUBDIVISION

Improvement Area #1

The following plats and horizontal condo regimes have been recorded within Improvement Area #1:

- The Final Plat of Solms Landing, Unit 1A was filed and recorded with the County on September 15, 2020 and consists of 60 Lots classified as Lot Type Single Family and 4 Lots classified as Non-Benefited Property.
- The Final Plat of Solms Landing, Collector Phase 1 was filed and recorded with the County on July 16, 2021 and consists entirely of Non-Benefited Property.
- The Final Plat of Solms Landing, Unit 1B was filed and recorded with the County on January 13, 2022 and consists of 1 Lot anticipated to be developed into 117 Lots classified as Lot Type Townhome.
- The Final Plat of Solms Landing Collector Phase 1A was filed and recorded with the County on April 4, 2022 and consists entirely of Non-Benefited Property.
- The Declaration of Condominium Regime for Solms Landing Condominiums was filed and recorded with the County on June 24, 2022 and created 37 Parcels classified as Lot Type Townhome.
- The Final Plat of Solms Senior Living was filed and recorded with the County on January 25, 2023 and consists of 1 Lot anticipated to developed into 200 Lots classified as Lot Type Senior Housing.
- The Final Plat of Solms Landing Subdivision Unit 1C was filed and recorded with the County on January 25, 2023 and consists of 4 Lots anticipated to developed into 95 Lots classified as Lot Type Condos, 1 Lot Type Dog Park Cantina, 15,000 square feet of Lot Type Market, 75,000 square feet of Lot Type Office and 40,000 square feet of Lot Type Music Venue.
- The Final Plat of Solms Landing, Tract 49 was filed and recorded with the County on January 26, 2023 and consists of 1 Lot anticipated to developed into 305 Lots classified as Lot Type Multi-Family and 50 Lots classified as Lot Type Live Work.
- The First Amendment to Declaration of Condominium Regime for Solms Landing

Condominiums was filed and recorded with the County on June 26, 2023 and created a total of 117 Parcels classified as Lot Type Townhome, including the Parcels already created by the Declaration of Condominium Regime for Solms Landing Condominiums.

See the anticipated Lot Type classification summary within Improvement Area #1 below:

Improvement Area #1	
Lot Type	Number of Units/Square Feet
Multi-Family	305
Townhomes	117
Single Family	60
Condos	95
Live Work	50
Total Residential	627
Office	75,000
Music Venue	40,000
Market	15,000
Dog Park Cantina	1

See **Exhibit C** for the Lot Type classification map.

LOT AND HOME SALES UPDATE

Improvement Area #1

Per the quarterly report dated March 31, 2025, the lot ownership composition is provided below:

- Developer Owned:
 - Lot Type Single Family: 0 Lots
 - Lot Type Townhome: 0 Lots
- Homebuilder Owned:
 - Lot Type Single Family: 43 Lots
 - Lot Type Townhome: 96 Lots

- End-User Owner:
 - Lot Type Single Family: 17 Lots
 - Lot Type Townhome: 21 Lots

See **Exhibit D** for buyer disclosures.

AUTHORIZED IMPROVEMENTS

Improvement Area #1

The Authorized Improvements were substantially completed in June 2020 and were conveyed to the City in July 2021.

OUTSTANDING ASSESSMENT

Improvement Area #1

Net of the principal bond payment due September 1, 2025, Improvement Area #1 has an outstanding Assessment of \$8,338,000.00.

ANNUAL INSTALLMENT DUE 1/31/2026

Improvement Area #1

- **Principal and Interest** – The total principal and interest required for the Annual Installment is \$557,226.26.
- **Additional Interest** – The total Delinquency and Prepayment Reserve Requirement, as defined in the Indenture, is equal to \$458,590.00 and has not been met. As such, the Delinquency and Prepayment Reserve Account will be funded with Additional Interest on the outstanding Assessments, resulting in an Additional Interest amount due of \$41,690.00.
- **Annual Collection Costs** – The cost of administering the District and collecting the Annual Installments shall be paid for on a pro rata basis by each Parcel based on the amount of outstanding Assessment remaining on the Parcel. The total Annual Collection Costs budgeted for the Annual Installment for Improvement Area #1 is \$37,636.24. The breakdown of the Annual Collection Costs is shown below.

Improvement Area #1	
Annual Collection Costs Breakdown	
Administration	\$ 31,836.24
City Auditor	2,500.00
Filing Fees	1,000.00
PID Trustee Fees	3,500.00
Draw Request Review	3,800.00
P3 Works Dev/Issuer CDA Review	3,500.00
Collection Costs Maintenance Balance	10,000.00
Less CCMB Credit from Prior Years	(20,000.00)
Arbitrage Calculation	1,500.00
Total Annual Collection Costs	\$ 37,636.24

Improvement Area #1	
Due January 31, 2026	
Principal	\$ 175,000.00
Interest	382,226.26
Annual Collection Costs	37,636.24
Additional Interest	41,690.00
Total Annual Installment	\$ 636,552.50

See the limited offering memorandum for the pay period. See **Exhibit B** for the debt service schedule for the Improvement Area #1 Bonds as shown in the limited offering memorandum.

PREPAYMENT OF ASSESSMENT IN FULL

Improvement Area #1

No full Prepayments have occurred within Improvement Area #1.

PARTIAL PREPAYMENT OF ASSESSMENTS

Improvement Area #1

No partial Prepayments have occurred within Improvement Area #1.

EXTRAORDINARY OPTIONAL REDEMPTIONS

Improvement Area #1

There have been no extraordinary optional redemptions in Improvement Area #1.

SERVICE PLAN - FIVE YEAR BUDGET FORECAST

The PID Act requires the annual indebtedness and projected costs for the Authorized Improvements to be reviewed and updated in the Annual Service Plan Update, and the projection shall cover a period of not less than five years.

		Improvement Area #1				
Installments Due		1/31/2026	1/31/2027	1/31/2028	1/31/2029	1/31/2030
<i>Improvement Area #1 Bonds</i>						
Principal		\$ 175,000.00	\$ 182,000.00	\$ 189,000.00	\$ 198,000.00	\$ 206,000.00
Interest		382,226.26	375,882.50	368,147.50	360,115.00	351,700.00
	(1)	\$ 557,226.26	\$ 557,882.50	\$ 557,147.50	\$ 558,115.00	\$ 557,700.00
Annual Collection Costs	(2)	\$ 37,636.24	\$ 38,388.96	\$ 39,156.74	\$ 39,939.88	\$ 40,738.68
Additional Interest	(3)	\$ 41,690.00	\$ 40,815.00	\$ 39,905.00	\$ 38,960.00	\$ 37,970.00
Total Annual Installment	(4) = (1) + (2) + (3)	\$ 636,552.50	\$ 637,086.46	\$ 636,209.24	\$ 637,014.88	\$ 636,408.68

TRUE-UP OF ASSESSMENTS IF MAXIMUM ASSESSMENT EXCEEDED

Upon submission of a preliminary plat and/or site plan by the Owner to the City, the Owner shall provide the City the gross building square footage and use type for land included in the preliminary plat and/or site plan for each Lot anticipated to be created by the preliminary plat and/or site plan considering factors that may impact value. The Administrator will review the preliminary plat and/or site plan to determine if such plat and/or site plan will or will not result in the Improvement Area #1 Assessment per Lot for any Lot Type within the preliminary plat and/or site plan exceeding the Maximum Assessment. If the Administrator determines the preliminary plat and/or site plan results in an Improvement Area #1 Assessment per Lot for any Lot Type exceeding the Maximum Assessment, prior to the City issuing any building permit for any such Lot described in the reviewed preliminary plat or site plan, the Owner will make a Prepayment in an amount sufficient to reduce the Improvement Area #1 Assessment for each Lot within such preliminary plat and/or site plan to the Maximum Assessment (defined as Improvement Area #1 True-Up). The City's approval of an Annual Service Plan Update, a preliminary plat, or a site plan without payment of such Prepayment amounts does not eliminate the obligation of the Owner to pay such amounts.

The total Estimated Buildout Value for Improvement Area #1 as shown in Exhibit H of the 2020 Service and Assessment Plan, will not change, and the Estimated Buildout Value per Unit/Square Foot will not change for the purposes of the Improvement Area #1 True-Up.

ASSESSMENT ROLL

The list of current Parcels within the District, the corresponding total Assessments, and current Annual Installment are shown on the Assessment Roll attached hereto as **Exhibit A** for Improvement Area #1. The Parcels shown on the Assessment Roll will receive the bills for the 2025 Annual Installments which will be delinquent if not paid by January 31, 2026.

EXHIBIT A – IMPROVEMENT AREA #1 ASSESSMENT ROLL

Property ID [a]	Lot Type	Notes	Improvement Area #1	
			Outstanding Assessment	Annual Installment Due 1/31/2026
438546	Single Family		\$ 19,552.69	\$ 1,492.72
438547	Single Family		\$ 19,552.69	\$ 1,492.72
438548	Single Family		\$ 19,552.69	\$ 1,492.72
438549	Single Family		\$ 19,552.69	\$ 1,492.72
438550	Single Family		\$ 19,552.69	\$ 1,492.72
438551	Single Family		\$ 19,552.69	\$ 1,492.72
438552	Single Family		\$ 19,552.69	\$ 1,492.72
438553	Single Family		\$ 19,552.69	\$ 1,492.72
438554	Single Family		\$ 19,552.69	\$ 1,492.72
438579	Single Family		\$ 19,552.69	\$ 1,492.72
438580	Single Family		\$ 19,552.69	\$ 1,492.72
438581	Single Family		\$ 19,552.69	\$ 1,492.72
438582	Single Family		\$ 19,552.69	\$ 1,492.72
438583	Single Family		\$ 19,552.69	\$ 1,492.72
438592	Single Family		\$ 19,552.69	\$ 1,492.72
438593	Single Family		\$ 19,552.69	\$ 1,492.72
438594	Single Family		\$ 19,552.69	\$ 1,492.72
438607	Single Family		\$ 19,552.69	\$ 1,492.72
438608	Single Family		\$ 19,552.69	\$ 1,492.72
438609	Single Family		\$ 19,552.69	\$ 1,492.72
438595	Single Family		\$ 19,552.69	\$ 1,492.72
438596	Single Family		\$ 19,552.69	\$ 1,492.72
438597	Single Family		\$ 19,552.69	\$ 1,492.72
438598	Single Family		\$ 19,552.69	\$ 1,492.72
438599	Single Family		\$ 19,552.69	\$ 1,492.72
438600	Single Family		\$ 19,552.69	\$ 1,492.72
438601	Single Family		\$ 19,552.69	\$ 1,492.72
438602	Single Family		\$ 19,552.69	\$ 1,492.72
438603	Single Family		\$ 19,552.69	\$ 1,492.72
438604	Single Family		\$ 19,552.69	\$ 1,492.72
438605	Single Family		\$ 19,552.69	\$ 1,492.72
438606	Single Family		\$ 19,552.69	\$ 1,492.72
438584	Single Family		\$ 19,552.69	\$ 1,492.72
438585	Single Family		\$ 19,552.69	\$ 1,492.72
438586	Single Family		\$ 19,552.69	\$ 1,492.72
438587	Single Family		\$ 19,552.69	\$ 1,492.72
438588	Single Family		\$ 19,552.69	\$ 1,492.72
438589	Single Family		\$ 19,552.69	\$ 1,492.72
438590	Non-Benefited Property		\$ -	\$ -
438591	Non-Benefited Property		\$ -	\$ -

			Improvement Area #1	
Property ID [a]	Lot Type	Notes	Outstanding Assessment	Annual Installment Due 1/31/2026
438555	Single Family		\$ 19,552.69	\$ 1,492.72
438556	Single Family		\$ 19,552.69	\$ 1,492.72
438557	Single Family		\$ 19,552.69	\$ 1,492.72
438558	Single Family		\$ 19,552.69	\$ 1,492.72
438559	Single Family		\$ 19,552.69	\$ 1,492.72
438560	Single Family		\$ 19,552.69	\$ 1,492.72
438561	Single Family		\$ 19,552.69	\$ 1,492.72
438562	Single Family		\$ 19,552.69	\$ 1,492.72
438563	Single Family		\$ 19,552.69	\$ 1,492.72
438564	Single Family		\$ 19,552.69	\$ 1,492.72
438565	Single Family		\$ 19,552.69	\$ 1,492.72
438566	Single Family		\$ 19,552.69	\$ 1,492.72
438567	Single Family		\$ 19,552.69	\$ 1,492.72
438568	Single Family		\$ 19,552.69	\$ 1,492.72
438569	Single Family		\$ 19,552.69	\$ 1,492.72
438570	Single Family		\$ 19,552.69	\$ 1,492.72
438571	Single Family		\$ 19,552.69	\$ 1,492.72
438572	Single Family		\$ 19,552.69	\$ 1,492.72
438573	Single Family		\$ 19,552.69	\$ 1,492.72
438574	Single Family		\$ 19,552.69	\$ 1,492.72
438575	Single Family		\$ 19,552.69	\$ 1,492.72
438576	Single Family		\$ 19,552.69	\$ 1,492.72
438577	Non-Benefited Property		\$ -	\$ -
438578	Non-Benefited Property		\$ -	\$ -
445863	Non-Benefited Property		\$ -	\$ -
445864	Non-Benefited Property		\$ -	\$ -
468037	Multi-Family, Live Work	[b]	\$ 2,321,881.88	\$ 177,260.70
466969	Music Venue	[c]	\$ 367,590.56	\$ 28,063.17
466968	Office	[d]	\$ 487,595.19	\$ 37,224.75
466967	Market	[e]	\$ 122,448.72	\$ 9,348.17
466966	Condo, Dog Park Cantina	[f]	\$ 1,187,825.86	\$ 90,682.84
466192	Senior Housing	[g]	\$ 1,104,726.95	\$ 84,338.77
463581	Townhome		\$ 13,442.47	\$ 1,026.25
463582	Townhome		\$ 13,442.47	\$ 1,026.25
463583	Townhome		\$ 13,442.47	\$ 1,026.25
463584	Townhome		\$ 13,442.47	\$ 1,026.25
463585	Townhome		\$ 13,442.47	\$ 1,026.25
463586	Townhome		\$ 13,442.47	\$ 1,026.25
463587	Townhome		\$ 13,442.47	\$ 1,026.25
463588	Townhome		\$ 13,442.47	\$ 1,026.25

			Improvement Area #1	
Property ID [a]	Lot Type	Notes	Outstanding Assessment	Annual Installment Due 1/31/2026
463589	Townhome		\$ 13,442.47	\$ 1,026.25
463590	Townhome		\$ 13,442.47	\$ 1,026.25
463591	Townhome		\$ 13,442.47	\$ 1,026.25
463592	Townhome		\$ 13,442.47	\$ 1,026.25
463593	Townhome		\$ 13,442.47	\$ 1,026.25
463594	Townhome		\$ 13,442.47	\$ 1,026.25
463595	Townhome		\$ 13,442.47	\$ 1,026.25
463596	Townhome		\$ 13,442.47	\$ 1,026.25
463597	Townhome		\$ 13,442.47	\$ 1,026.25
463598	Townhome		\$ 13,442.47	\$ 1,026.25
463599	Townhome		\$ 13,442.47	\$ 1,026.25
463600	Townhome		\$ 13,442.47	\$ 1,026.25
463601	Townhome		\$ 13,442.47	\$ 1,026.25
463602	Townhome		\$ 13,442.47	\$ 1,026.25
463603	Townhome		\$ 13,442.47	\$ 1,026.25
463604	Townhome		\$ 13,442.47	\$ 1,026.25
463605	Townhome		\$ 13,442.47	\$ 1,026.25
463606	Townhome		\$ 13,442.47	\$ 1,026.25
463607	Townhome		\$ 13,442.47	\$ 1,026.25
463608	Townhome		\$ 13,442.47	\$ 1,026.25
463609	Townhome		\$ 13,442.47	\$ 1,026.25
463610	Townhome		\$ 13,442.47	\$ 1,026.25
463611	Townhome		\$ 13,442.47	\$ 1,026.25
463612	Townhome		\$ 13,442.47	\$ 1,026.25
463613	Townhome		\$ 13,442.47	\$ 1,026.25
463614	Townhome		\$ 13,442.47	\$ 1,026.25
463615	Townhome		\$ 13,442.47	\$ 1,026.25
463616	Townhome		\$ 13,442.47	\$ 1,026.25
463617	Townhome		\$ 13,442.47	\$ 1,026.25
472360	Townhome		\$ 13,442.47	\$ 1,026.25
472361	Townhome		\$ 13,442.47	\$ 1,026.25
472362	Townhome		\$ 13,442.47	\$ 1,026.25
472363	Townhome		\$ 13,442.47	\$ 1,026.25
472364	Townhome		\$ 13,442.47	\$ 1,026.25
472365	Townhome		\$ 13,442.47	\$ 1,026.25
472366	Townhome		\$ 13,442.47	\$ 1,026.25
472367	Townhome		\$ 13,442.47	\$ 1,026.25
472368	Townhome		\$ 13,442.47	\$ 1,026.25
472369	Townhome		\$ 13,442.47	\$ 1,026.25
472370	Townhome		\$ 13,442.47	\$ 1,026.25

Property ID [a]	Lot Type	Notes	Improvement Area #1	
			Outstanding Assessment	Annual Installment Due 1/31/2026
472371	Townhome		\$ 13,442.47	\$ 1,026.25
472372	Townhome		\$ 13,442.47	\$ 1,026.25
472373	Townhome		\$ 13,442.47	\$ 1,026.25
472374	Townhome		\$ 13,442.47	\$ 1,026.25
472375	Townhome		\$ 13,442.47	\$ 1,026.25
472376	Townhome		\$ 13,442.47	\$ 1,026.25
472377	Townhome		\$ 13,442.47	\$ 1,026.25
472378	Townhome		\$ 13,442.47	\$ 1,026.25
472379	Townhome		\$ 13,442.47	\$ 1,026.25
472380	Townhome		\$ 13,442.47	\$ 1,026.25
472381	Townhome		\$ 13,442.47	\$ 1,026.25
472382	Townhome		\$ 13,442.47	\$ 1,026.25
472383	Townhome		\$ 13,442.47	\$ 1,026.25
472384	Townhome		\$ 13,442.47	\$ 1,026.25
472385	Townhome		\$ 13,442.47	\$ 1,026.25
472386	Townhome		\$ 13,442.47	\$ 1,026.25
472387	Townhome		\$ 13,442.47	\$ 1,026.25
472388	Townhome		\$ 13,442.47	\$ 1,026.25
472389	Townhome		\$ 13,442.47	\$ 1,026.25
472390	Townhome		\$ 13,442.47	\$ 1,026.25
472391	Townhome		\$ 13,442.47	\$ 1,026.25
472392	Townhome		\$ 13,442.47	\$ 1,026.25
472393	Townhome		\$ 13,442.47	\$ 1,026.25
472394	Townhome		\$ 13,442.47	\$ 1,026.25
472395	Townhome		\$ 13,442.47	\$ 1,026.25
472396	Townhome		\$ 13,442.47	\$ 1,026.25
472397	Townhome		\$ 13,442.47	\$ 1,026.25
472398	Townhome		\$ 13,442.47	\$ 1,026.25
472399	Townhome		\$ 13,442.47	\$ 1,026.25
472400	Townhome		\$ 13,442.47	\$ 1,026.25
472401	Townhome		\$ 13,442.47	\$ 1,026.25
472402	Townhome		\$ 13,442.47	\$ 1,026.25
472403	Townhome		\$ 13,442.47	\$ 1,026.25
472404	Townhome		\$ 13,442.47	\$ 1,026.25
472405	Townhome		\$ 13,442.47	\$ 1,026.25
472406	Townhome		\$ 13,442.47	\$ 1,026.25
472407	Townhome		\$ 13,442.47	\$ 1,026.25
472408	Townhome		\$ 13,442.47	\$ 1,026.25
472409	Townhome		\$ 13,442.47	\$ 1,026.25
472410	Townhome		\$ 13,442.47	\$ 1,026.25

Property ID [a]	Lot Type	Notes	Improvement Area #1	
			Outstanding Assessment	Annual Installment Due 1/31/2026
472411	Townhome		\$ 13,442.47	\$ 1,026.25
472412	Townhome		\$ 13,442.47	\$ 1,026.25
472413	Townhome		\$ 13,442.47	\$ 1,026.25
472414	Townhome		\$ 13,442.47	\$ 1,026.25
472415	Townhome		\$ 13,442.47	\$ 1,026.25
472416	Townhome		\$ 13,442.47	\$ 1,026.25
472417	Townhome		\$ 13,442.47	\$ 1,026.25
472418	Townhome		\$ 13,442.47	\$ 1,026.25
472419	Townhome		\$ 13,442.47	\$ 1,026.25
472420	Townhome		\$ 13,442.47	\$ 1,026.25
472421	Townhome		\$ 13,442.47	\$ 1,026.25
472422	Townhome		\$ 13,442.47	\$ 1,026.25
472423	Townhome		\$ 13,442.47	\$ 1,026.25
472424	Townhome		\$ 13,442.47	\$ 1,026.25
472425	Townhome		\$ 13,442.47	\$ 1,026.25
472426	Townhome		\$ 13,442.47	\$ 1,026.25
472427	Townhome		\$ 13,442.47	\$ 1,026.25
472428	Townhome		\$ 13,442.47	\$ 1,026.25
472429	Townhome		\$ 13,442.47	\$ 1,026.25
472430	Townhome		\$ 13,442.47	\$ 1,026.25
472431	Townhome		\$ 13,442.47	\$ 1,026.25
472432	Townhome		\$ 13,442.47	\$ 1,026.25
472433	Townhome		\$ 13,442.47	\$ 1,026.25
472434	Townhome		\$ 13,442.47	\$ 1,026.25
472435	Townhome		\$ 13,442.47	\$ 1,026.25
472436	Townhome		\$ 13,442.47	\$ 1,026.25
472437	Townhome		\$ 13,442.47	\$ 1,026.25
472438	Townhome		\$ 13,442.47	\$ 1,026.25
472439	Townhome		\$ 13,442.47	\$ 1,026.25
Total			\$ 8,337,999.55	\$ 636,552.85

Notes:

[a] Property IDs preliminary and subject to change based on the final certified rolls provided by the County prior to billing.

[b] Parcel is anticipated to be developed to contain 305 Lot Type Multi-Family Lots and 50 Lot Type Live Work Lots and has been allocated the Assessment associated with this development.

[c] Parcel is anticipated to be developed to contain 40,000 square feet of Lot Type Music Venue and has been allocated the Assessment associated with this development.

[d] Parcel is anticipated to be developed to contain 75,000 square feet of Lot Type Office and has been allocated the Assessment associated with this development.

[e] Parcel is anticipated to be developed to contain 15,000 square feet of Lot Type Market and has been allocated the Assessment associated with this development.

[f] Parcel is anticipated to be developed to contain 95 Lot Type Condo Lots and 1 Lot Type Dog Park Cantina Lot and has been allocated the Assessment associated with this development.

[g] Parcel is anticipated to be developed to contain 200 Lot Type Senior Housing Lots and has been allocated the Assessment associated with this development.

Note: Totals may not sum due to rounding.

EXHIBIT B – IMPROVEMENT AREA #1 BONDS DEBT SERVICE SCHEDULE

DEBT SERVICE REQUIREMENTS

The following table sets forth the debt service requirements for the Bonds:

Year Ending (September 30)	Principal	Interest	Total
2022	\$ -	\$284,436.45	\$284,436.45
2023	158,000.00	399,988.76	557,988.76
2024	163,000.00	394,261.26	557,261.26
2025	169,000.00	388,352.50	557,352.50
2026	175,000.00	382,226.26	557,226.26
2027	182,000.00	375,882.50	557,882.50
2028	189,000.00	368,147.50	557,147.50
2029	198,000.00	360,115.00	558,115.00
2030	206,000.00	351,700.00	557,700.00
2031	215,000.00	342,945.00	557,945.00
2032	224,000.00	333,807.50	557,807.50
2033	234,000.00	323,727.50	557,727.50
2034	245,000.00	313,197.50	558,197.50
2035	256,000.00	302,172.50	558,172.50
2036	268,000.00	290,652.50	558,652.50
2037	280,000.00	278,592.50	558,592.50
2038	293,000.00	265,992.50	558,992.50
2039	307,000.00	252,807.50	559,807.50
2040	321,000.00	238,992.50	559,992.50
2041	336,000.00	224,547.50	560,547.50
2042	352,000.00	209,427.50	561,427.50
2043	369,000.00	192,707.50	561,707.50
2044	387,000.00	175,180.00	562,180.00
2045	406,000.00	156,797.50	562,797.50
2046	426,000.00	137,512.50	563,512.50
2047	447,000.00	117,277.50	564,277.50
2048	469,000.00	96,045.00	565,045.00
2049	493,000.00	73,767.50	566,767.50
2050	517,000.00	50,350.00	567,350.00
2051	543,000.00	25,792.50	568,792.50
Total	<u>\$8,828,000.00</u>	<u>\$7,707,402.73</u>	<u>\$16,535,402.73</u>

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EXHIBIT C – LOT TYPE CLASSIFICATION MAP

- | | | |
|--------------------------------|-------------------------|----------------------------|
| SINGLE FAMILY HOMES (60 UNITS) | LIVE / WORK (125 UNITS) | MUSIC VENUE (40,000 SQFT) |
| TOWNHOMES (110 UNITS) | DOG PARK (5,000 SQFT) | RETAIL (15,000 SQFT) |
| CONDOS (190 UNITS) | MARKET (15,000 SQFT) | FOOD AND BEV (52,000 SQFT) |
| APARTMENTS (305 UNITS) | OFFICE (360,000 SQFT) | |
| SENIOR HOUSING (200 UNITS) | HOTEL (110 KEYS) | |

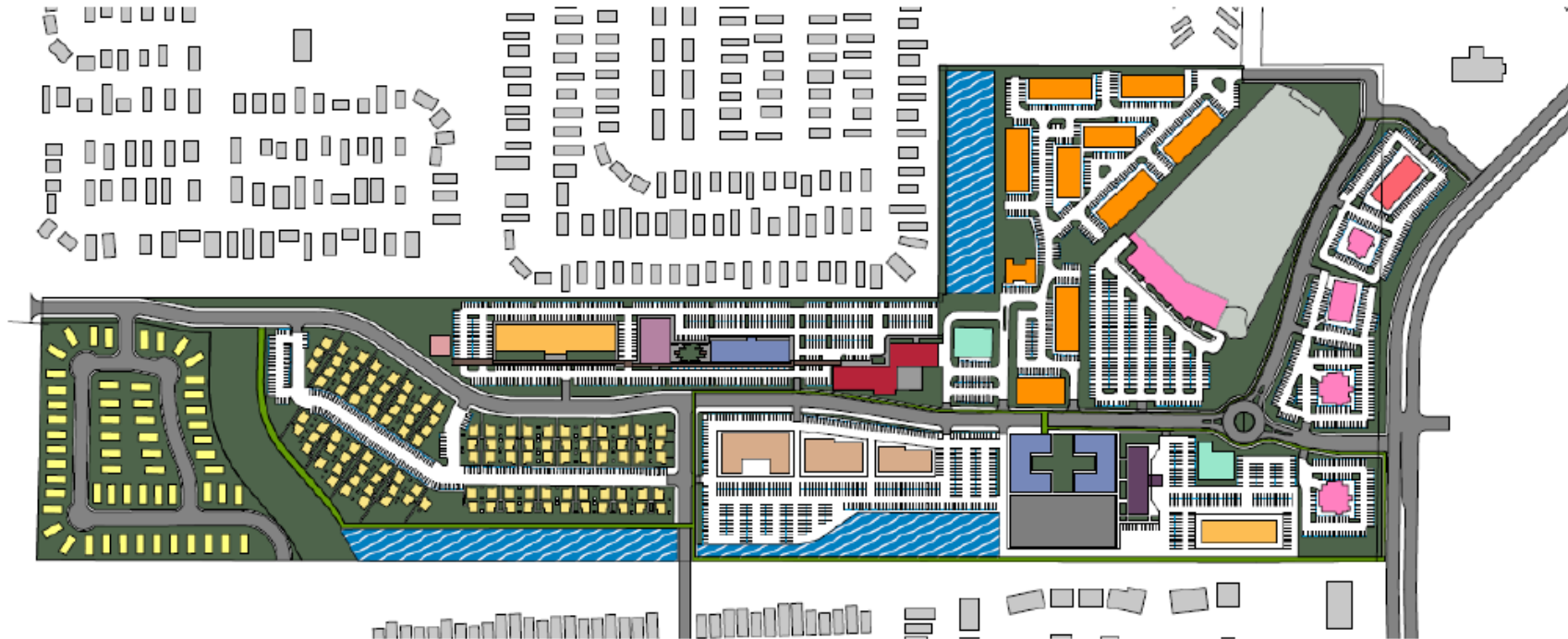


EXHIBIT D – BUYER DISCLOSURES

Buyer Disclosures for the following Lot Types within Improvement Area #1 are found in this Exhibit:

- Lot Type Single Family
- Lot Type Townhome
- Parcel 468037
- Parcel 466969
- Parcel 466968
- Parcel 466967
- Parcel 466966
- Parcel 466192

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
LOT TYPE SINGLE FAMILY – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 - LOT TYPE SINGLE FAMILY PRINCIPAL
ASSESSMENT: \$19,552.69**

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 - LOT TYPE SINGLE FAMILY

Installments Due 1/31	Improvement Area #1 Bond			Annual Collection Costs	Annual Installment
	Principal	Interest [a]	Additional Interest		
2026	\$ 410.38	\$ 896.32	\$ 97.76	\$ 88.26	\$ 1,492.72
2027	\$ 426.79	\$ 881.45	\$ 95.71	\$ 90.02	\$ 1,493.97
2028	\$ 443.21	\$ 863.31	\$ 93.58	\$ 91.82	\$ 1,491.92
2029	\$ 464.31	\$ 844.47	\$ 91.36	\$ 93.66	\$ 1,493.81
2030	\$ 483.07	\$ 824.74	\$ 89.04	\$ 95.53	\$ 1,492.38
2031	\$ 504.18	\$ 804.21	\$ 86.62	\$ 97.44	\$ 1,492.45
2032	\$ 525.28	\$ 782.78	\$ 84.10	\$ 99.39	\$ 1,491.56
2033	\$ 548.73	\$ 759.14	\$ 81.48	\$ 101.38	\$ 1,490.73
2034	\$ 574.53	\$ 734.45	\$ 78.73	\$ 103.41	\$ 1,491.12
2035	\$ 600.32	\$ 708.60	\$ 75.86	\$ 105.48	\$ 1,490.26
2036	\$ 628.46	\$ 681.58	\$ 72.86	\$ 107.59	\$ 1,490.49
2037	\$ 656.60	\$ 653.30	\$ 69.72	\$ 109.74	\$ 1,489.36
2038	\$ 687.09	\$ 623.75	\$ 66.43	\$ 111.93	\$ 1,489.21
2039	\$ 719.92	\$ 592.84	\$ 63.00	\$ 114.17	\$ 1,489.92
2040	\$ 752.75	\$ 560.44	\$ 59.40	\$ 116.45	\$ 1,489.04
2041	\$ 787.92	\$ 526.57	\$ 55.64	\$ 118.78	\$ 1,488.91
2042	\$ 825.44	\$ 491.11	\$ 51.70	\$ 121.16	\$ 1,489.41
2043	\$ 865.31	\$ 451.90	\$ 47.57	\$ 123.58	\$ 1,488.36
2044	\$ 907.52	\$ 410.80	\$ 43.24	\$ 126.05	\$ 1,487.61
2045	\$ 952.07	\$ 367.69	\$ 38.70	\$ 128.57	\$ 1,487.04
2046	\$ 998.97	\$ 322.47	\$ 33.94	\$ 131.15	\$ 1,486.53
2047	\$ 1,048.22	\$ 275.02	\$ 28.95	\$ 133.77	\$ 1,485.95
2048	\$ 1,099.81	\$ 225.23	\$ 23.71	\$ 136.44	\$ 1,485.19
2049	\$ 1,156.09	\$ 172.99	\$ 18.21	\$ 139.17	\$ 1,486.46
2050	\$ 1,212.37	\$ 118.07	\$ 12.43	\$ 141.96	\$ 1,484.83
2051	\$ 1,273.34	\$ 60.48	\$ 6.37	\$ 144.80	\$ 1,484.99
Total	\$ 19,552.69	\$ 14,633.71	\$ 1,566.11	\$ 2,971.70	\$ 38,724.22

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
LOT TYPE TOWNHOME – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 - LOT TYPE TOWNHOME PRINCIPAL ASSESSMENT:
\$13,442.47**

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 - LOT TYPE TOWNHOME

Improvement Area #1 Bond						
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment	
2026	\$ 282.13	\$ 616.22	\$ 67.21	\$ 60.68	\$ 1,026.25	
2027	\$ 293.42	\$ 606.00	\$ 65.80	\$ 61.89	\$ 1,027.11	
2028	\$ 304.70	\$ 593.53	\$ 64.33	\$ 63.13	\$ 1,025.69	
2029	\$ 319.21	\$ 580.58	\$ 62.81	\$ 64.39	\$ 1,026.99	
2030	\$ 332.11	\$ 567.01	\$ 61.22	\$ 65.68	\$ 1,026.01	
2031	\$ 346.62	\$ 552.89	\$ 59.55	\$ 66.99	\$ 1,026.06	
2032	\$ 361.13	\$ 538.16	\$ 57.82	\$ 68.33	\$ 1,025.45	
2033	\$ 377.25	\$ 521.91	\$ 56.02	\$ 69.70	\$ 1,024.88	
2034	\$ 394.99	\$ 504.94	\$ 54.13	\$ 71.09	\$ 1,025.14	
2035	\$ 412.72	\$ 487.16	\$ 52.15	\$ 72.51	\$ 1,024.55	
2036	\$ 432.07	\$ 468.59	\$ 50.09	\$ 73.96	\$ 1,024.71	
2037	\$ 451.41	\$ 449.15	\$ 47.93	\$ 75.44	\$ 1,023.93	
2038	\$ 472.37	\$ 428.83	\$ 45.67	\$ 76.95	\$ 1,023.83	
2039	\$ 494.94	\$ 407.57	\$ 43.31	\$ 78.49	\$ 1,024.32	
2040	\$ 517.51	\$ 385.30	\$ 40.84	\$ 80.06	\$ 1,023.72	
2041	\$ 541.70	\$ 362.01	\$ 38.25	\$ 81.66	\$ 1,023.62	
2042	\$ 567.49	\$ 337.64	\$ 35.54	\$ 83.30	\$ 1,023.97	
2043	\$ 594.90	\$ 310.68	\$ 32.70	\$ 84.96	\$ 1,023.25	
2044	\$ 623.92	\$ 282.42	\$ 29.73	\$ 86.66	\$ 1,022.73	
2045	\$ 654.55	\$ 252.79	\$ 26.61	\$ 88.39	\$ 1,022.34	
2046	\$ 686.79	\$ 221.70	\$ 23.34	\$ 90.16	\$ 1,021.99	
2047	\$ 720.65	\$ 189.07	\$ 19.90	\$ 91.97	\$ 1,021.59	
2048	\$ 756.12	\$ 154.84	\$ 16.30	\$ 93.81	\$ 1,021.07	
2049	\$ 794.81	\$ 118.93	\$ 12.52	\$ 95.68	\$ 1,021.94	
2050	\$ 833.50	\$ 81.17	\$ 8.54	\$ 97.60	\$ 1,020.82	
2051	\$ 875.42	\$ 41.58	\$ 4.38	\$ 99.55	\$ 1,020.93	
Total	\$ 13,442.47	\$ 10,060.68	\$ 1,076.70	\$ 2,043.05	\$ 26,622.90	

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 468037 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 – PARCEL 468037 PRINCIPAL ASSESSMENT:
\$2,321,881.88**

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 468037

Improvement Area #1 Bond					
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment
2026	\$ 48,732.23	\$ 106,438.50	\$ 11,609.41	\$ 10,480.56	\$ 177,260.70
2027	\$ 50,681.52	\$ 104,671.96	\$ 11,365.75	\$ 10,690.17	\$ 177,409.39
2028	\$ 52,630.81	\$ 102,517.99	\$ 11,112.34	\$ 10,903.97	\$ 177,165.11
2029	\$ 55,137.04	\$ 100,281.18	\$ 10,849.19	\$ 11,122.05	\$ 177,389.46
2030	\$ 57,364.80	\$ 97,937.86	\$ 10,573.50	\$ 11,344.49	\$ 177,220.65
2031	\$ 59,871.02	\$ 95,499.85	\$ 10,286.68	\$ 11,571.38	\$ 177,228.94
2032	\$ 62,377.25	\$ 92,955.34	\$ 9,987.32	\$ 11,802.81	\$ 177,122.72
2033	\$ 65,161.95	\$ 90,148.36	\$ 9,675.44	\$ 12,038.87	\$ 177,024.62
2034	\$ 68,225.12	\$ 87,216.07	\$ 9,349.63	\$ 12,279.65	\$ 177,070.46
2035	\$ 71,288.29	\$ 84,145.94	\$ 9,008.50	\$ 12,525.24	\$ 176,967.97
2036	\$ 74,629.93	\$ 80,937.97	\$ 8,652.06	\$ 12,775.74	\$ 176,995.70
2037	\$ 77,971.57	\$ 77,579.62	\$ 8,278.91	\$ 13,031.26	\$ 176,861.36
2038	\$ 81,591.68	\$ 74,070.90	\$ 7,889.05	\$ 13,291.88	\$ 176,843.51
2039	\$ 85,490.25	\$ 70,399.27	\$ 7,481.09	\$ 13,557.72	\$ 176,928.34
2040	\$ 89,388.83	\$ 66,552.21	\$ 7,053.64	\$ 13,828.88	\$ 176,823.56
2041	\$ 93,565.88	\$ 62,529.72	\$ 6,606.70	\$ 14,105.45	\$ 176,807.75
2042	\$ 98,021.40	\$ 58,319.25	\$ 6,138.87	\$ 14,387.56	\$ 176,867.08
2043	\$ 102,755.39	\$ 53,663.23	\$ 5,648.76	\$ 14,675.31	\$ 176,742.70
2044	\$ 107,767.84	\$ 48,782.35	\$ 5,134.98	\$ 14,968.82	\$ 176,654.00
2045	\$ 113,058.77	\$ 43,663.38	\$ 4,596.15	\$ 15,268.20	\$ 176,586.50
2046	\$ 118,628.17	\$ 38,293.09	\$ 4,030.85	\$ 15,573.56	\$ 176,525.67
2047	\$ 124,476.04	\$ 32,658.25	\$ 3,437.71	\$ 15,885.03	\$ 176,457.03
2048	\$ 130,602.38	\$ 26,745.64	\$ 2,815.33	\$ 16,202.73	\$ 176,366.08
2049	\$ 137,285.65	\$ 20,542.03	\$ 2,162.32	\$ 16,526.79	\$ 176,516.78
2050	\$ 143,968.93	\$ 14,020.96	\$ 1,475.89	\$ 16,857.32	\$ 176,323.10
2051	\$ 151,209.15	\$ 7,182.43	\$ 756.05	\$ 17,194.47	\$ 176,342.10
Total	\$ 2,321,881.88	\$ 1,737,753.37	\$ 185,976.11	\$ 352,889.93	\$ 4,598,501.29

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 466969 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 – PARCEL 466969 PRINCIPAL ASSESSMENT: \$367,590.56

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 466969

Improvement Area #1 Bond					
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment
2026	\$ 7,715.08	\$ 16,850.90	\$ 1,837.95	\$ 1,659.24	\$ 28,063.17
2027	\$ 8,023.68	\$ 16,571.22	\$ 1,799.38	\$ 1,692.42	\$ 28,086.71
2028	\$ 8,332.29	\$ 16,230.22	\$ 1,759.26	\$ 1,726.27	\$ 28,048.03
2029	\$ 8,729.06	\$ 15,876.09	\$ 1,717.60	\$ 1,760.80	\$ 28,083.55
2030	\$ 9,081.75	\$ 15,505.11	\$ 1,673.95	\$ 1,796.01	\$ 28,056.83
2031	\$ 9,478.53	\$ 15,119.13	\$ 1,628.54	\$ 1,831.93	\$ 28,058.14
2032	\$ 9,875.30	\$ 14,716.30	\$ 1,581.15	\$ 1,868.57	\$ 28,041.32
2033	\$ 10,316.17	\$ 14,271.91	\$ 1,531.77	\$ 1,905.94	\$ 28,025.79
2034	\$ 10,801.11	\$ 13,807.68	\$ 1,480.19	\$ 1,944.06	\$ 28,033.05
2035	\$ 11,286.06	\$ 13,321.63	\$ 1,426.19	\$ 1,982.94	\$ 28,016.82
2036	\$ 11,815.10	\$ 12,813.76	\$ 1,369.76	\$ 2,022.60	\$ 28,021.21
2037	\$ 12,344.13	\$ 12,282.08	\$ 1,310.68	\$ 2,063.05	\$ 27,999.95
2038	\$ 12,917.25	\$ 11,726.59	\$ 1,248.96	\$ 2,104.32	\$ 27,997.12
2039	\$ 13,534.46	\$ 11,145.32	\$ 1,184.38	\$ 2,146.40	\$ 28,010.55
2040	\$ 14,151.66	\$ 10,536.27	\$ 1,116.70	\$ 2,189.33	\$ 27,993.96
2041	\$ 14,812.96	\$ 9,899.44	\$ 1,045.94	\$ 2,233.12	\$ 27,991.46
2042	\$ 15,518.34	\$ 9,232.86	\$ 971.88	\$ 2,277.78	\$ 28,000.85
2043	\$ 16,267.80	\$ 8,495.74	\$ 894.29	\$ 2,323.33	\$ 27,981.16
2044	\$ 17,061.35	\$ 7,723.02	\$ 812.95	\$ 2,369.80	\$ 27,967.12
2045	\$ 17,898.99	\$ 6,912.60	\$ 727.64	\$ 2,417.20	\$ 27,956.43
2046	\$ 18,780.71	\$ 6,062.40	\$ 638.15	\$ 2,465.54	\$ 27,946.80
2047	\$ 19,706.52	\$ 5,170.32	\$ 544.24	\$ 2,514.85	\$ 27,935.93
2048	\$ 20,676.42	\$ 4,234.26	\$ 445.71	\$ 2,565.15	\$ 27,921.53
2049	\$ 21,734.49	\$ 3,252.13	\$ 342.33	\$ 2,616.45	\$ 27,945.39
2050	\$ 22,792.55	\$ 2,219.74	\$ 233.66	\$ 2,668.78	\$ 27,914.73
2051	\$ 23,938.80	\$ 1,137.09	\$ 119.69	\$ 2,722.16	\$ 27,917.74
Total	\$ 367,590.56	\$ 275,113.79	\$ 29,442.95	\$ 55,868.05	\$ 728,015.36

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 466968 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 – PARCEL 466968 PRINCIPAL ASSESSMENT: \$487,595.19

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within ***Solms Landing Public Improvement District*** (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 466968

Improvement Area #1 Bond					
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment
2026	\$ 10,233.77	\$ 22,352.09	\$ 2,437.98	\$ 2,200.92	\$ 37,224.75
2027	\$ 10,643.12	\$ 21,981.11	\$ 2,386.81	\$ 2,244.94	\$ 37,255.97
2028	\$ 11,052.47	\$ 21,528.78	\$ 2,333.59	\$ 2,289.83	\$ 37,204.67
2029	\$ 11,578.78	\$ 21,059.05	\$ 2,278.33	\$ 2,335.63	\$ 37,251.79
2030	\$ 12,046.61	\$ 20,566.95	\$ 2,220.44	\$ 2,382.34	\$ 37,216.34
2031	\$ 12,572.92	\$ 20,054.97	\$ 2,160.20	\$ 2,429.99	\$ 37,218.08
2032	\$ 13,099.22	\$ 19,520.62	\$ 2,097.34	\$ 2,478.59	\$ 37,195.77
2033	\$ 13,684.01	\$ 18,931.16	\$ 2,031.84	\$ 2,528.16	\$ 37,175.17
2034	\$ 14,327.28	\$ 18,315.37	\$ 1,963.42	\$ 2,578.73	\$ 37,184.80
2035	\$ 14,970.54	\$ 17,670.65	\$ 1,891.79	\$ 2,630.30	\$ 37,163.27
2036	\$ 15,672.28	\$ 16,996.97	\$ 1,816.93	\$ 2,682.91	\$ 37,169.10
2037	\$ 16,374.03	\$ 16,291.72	\$ 1,738.57	\$ 2,736.56	\$ 37,140.88
2038	\$ 17,134.25	\$ 15,554.89	\$ 1,656.70	\$ 2,791.30	\$ 37,137.14
2039	\$ 17,952.95	\$ 14,783.85	\$ 1,571.03	\$ 2,847.12	\$ 37,154.95
2040	\$ 18,771.65	\$ 13,975.96	\$ 1,481.26	\$ 2,904.06	\$ 37,132.95
2041	\$ 19,648.83	\$ 13,131.24	\$ 1,387.41	\$ 2,962.15	\$ 37,129.63
2042	\$ 20,584.49	\$ 12,247.04	\$ 1,289.16	\$ 3,021.39	\$ 37,142.09
2043	\$ 21,578.63	\$ 11,269.28	\$ 1,186.24	\$ 3,081.82	\$ 37,115.97
2044	\$ 22,631.25	\$ 10,244.29	\$ 1,078.35	\$ 3,143.45	\$ 37,097.34
2045	\$ 23,742.34	\$ 9,169.31	\$ 965.19	\$ 3,206.32	\$ 37,083.16
2046	\$ 24,911.92	\$ 8,041.55	\$ 846.48	\$ 3,270.45	\$ 37,070.39
2047	\$ 26,139.97	\$ 6,858.23	\$ 721.92	\$ 3,335.86	\$ 37,055.98
2048	\$ 27,426.50	\$ 5,616.58	\$ 591.22	\$ 3,402.57	\$ 37,036.88
2049	\$ 28,829.99	\$ 4,313.83	\$ 454.09	\$ 3,470.63	\$ 37,068.52
2050	\$ 30,233.48	\$ 2,944.40	\$ 309.94	\$ 3,540.04	\$ 37,027.85
2051	\$ 31,753.92	\$ 1,508.31	\$ 158.77	\$ 3,610.84	\$ 37,031.84
Total	\$ 487,595.19	\$ 364,928.21	\$ 39,054.98	\$ 74,106.88	\$ 965,685.27

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 466967 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 – PARCEL 466967 PRINCIPAL ASSESSMENT: \$122,448.72

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 466967

Improvement Area #1 Bond					
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment
2026	\$ 2,569.98	\$ 5,613.23	\$ 612.24	\$ 552.71	\$ 9,348.17
2027	\$ 2,672.78	\$ 5,520.07	\$ 599.39	\$ 563.77	\$ 9,356.01
2028	\$ 2,775.58	\$ 5,406.48	\$ 586.03	\$ 575.04	\$ 9,343.13
2029	\$ 2,907.75	\$ 5,288.51	\$ 572.15	\$ 586.54	\$ 9,354.96
2030	\$ 3,025.24	\$ 5,164.93	\$ 557.61	\$ 598.27	\$ 9,346.06
2031	\$ 3,157.41	\$ 5,036.36	\$ 542.49	\$ 610.24	\$ 9,346.49
2032	\$ 3,289.58	\$ 4,902.17	\$ 526.70	\$ 622.44	\$ 9,340.89
2033	\$ 3,436.44	\$ 4,754.14	\$ 510.25	\$ 634.89	\$ 9,335.72
2034	\$ 3,597.98	\$ 4,599.50	\$ 493.07	\$ 647.59	\$ 9,338.14
2035	\$ 3,759.52	\$ 4,437.59	\$ 475.08	\$ 660.54	\$ 9,332.73
2036	\$ 3,935.75	\$ 4,268.41	\$ 456.28	\$ 673.75	\$ 9,334.19
2037	\$ 4,111.97	\$ 4,091.30	\$ 436.60	\$ 687.23	\$ 9,327.11
2038	\$ 4,302.89	\$ 3,906.27	\$ 416.04	\$ 700.97	\$ 9,326.17
2039	\$ 4,508.49	\$ 3,712.64	\$ 394.53	\$ 714.99	\$ 9,330.64
2040	\$ 4,714.08	\$ 3,509.75	\$ 371.99	\$ 729.29	\$ 9,325.12
2041	\$ 4,934.37	\$ 3,297.62	\$ 348.42	\$ 743.88	\$ 9,324.28
2042	\$ 5,169.34	\$ 3,075.57	\$ 323.74	\$ 758.75	\$ 9,327.41
2043	\$ 5,418.99	\$ 2,830.03	\$ 297.90	\$ 773.93	\$ 9,320.85
2044	\$ 5,683.34	\$ 2,572.63	\$ 270.80	\$ 789.41	\$ 9,316.17
2045	\$ 5,962.36	\$ 2,302.67	\$ 242.39	\$ 805.20	\$ 9,312.61
2046	\$ 6,256.08	\$ 2,019.46	\$ 212.57	\$ 821.30	\$ 9,309.41
2047	\$ 6,564.47	\$ 1,722.29	\$ 181.29	\$ 837.73	\$ 9,305.79
2048	\$ 6,887.56	\$ 1,410.48	\$ 148.47	\$ 854.48	\$ 9,300.99
2049	\$ 7,240.01	\$ 1,083.32	\$ 114.03	\$ 871.57	\$ 9,308.94
2050	\$ 7,592.47	\$ 739.42	\$ 77.83	\$ 889.00	\$ 9,298.72
2051	\$ 7,974.29	\$ 378.78	\$ 39.87	\$ 906.78	\$ 9,299.73
Total	\$ 122,448.72	\$ 91,643.62	\$ 9,807.79	\$ 18,610.30	\$ 242,510.44

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 466966 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 – PARCEL 466966 PRINCIPAL ASSESSMENT:
\$1,187,825.86**

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of New Braunfels. The exact amount of each annual installment will be approved each year by the New Braunfels City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from the City of New Braunfels.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 466966

Improvement Area #1 Bond						
Installments Due 1/31	Principal	Interest [a]	Additional Interest	Annual Collection Costs	Annual Installment	
2026	\$ 24,930.38	\$ 54,451.70	\$ 5,939.13	\$ 5,361.63	\$ 90,682.84	
2027	\$ 25,927.60	\$ 53,547.97	\$ 5,814.48	\$ 5,468.87	\$ 90,758.91	
2028	\$ 26,924.81	\$ 52,446.04	\$ 5,684.84	\$ 5,578.24	\$ 90,633.94	
2029	\$ 28,206.95	\$ 51,301.74	\$ 5,550.22	\$ 5,689.81	\$ 90,748.71	
2030	\$ 29,346.62	\$ 50,102.94	\$ 5,409.18	\$ 5,803.60	\$ 90,662.35	
2031	\$ 30,628.76	\$ 48,855.71	\$ 5,262.45	\$ 5,919.68	\$ 90,666.59	
2032	\$ 31,910.89	\$ 47,553.99	\$ 5,109.30	\$ 6,038.07	\$ 90,612.25	
2033	\$ 33,335.48	\$ 46,118.00	\$ 4,949.75	\$ 6,158.83	\$ 90,562.06	
2034	\$ 34,902.53	\$ 44,617.90	\$ 4,783.07	\$ 6,282.01	\$ 90,585.52	
2035	\$ 36,469.59	\$ 43,047.29	\$ 4,608.56	\$ 6,407.65	\$ 90,533.09	
2036	\$ 38,179.10	\$ 41,406.16	\$ 4,426.21	\$ 6,535.80	\$ 90,547.27	
2037	\$ 39,888.61	\$ 39,688.10	\$ 4,235.32	\$ 6,666.52	\$ 90,478.54	
2038	\$ 41,740.58	\$ 37,893.11	\$ 4,035.87	\$ 6,799.85	\$ 90,469.42	
2039	\$ 43,735.01	\$ 36,014.79	\$ 3,827.17	\$ 6,935.84	\$ 90,512.81	
2040	\$ 45,729.44	\$ 34,046.71	\$ 3,608.49	\$ 7,074.56	\$ 90,459.21	
2041	\$ 47,866.33	\$ 31,988.89	\$ 3,379.85	\$ 7,216.05	\$ 90,451.12	
2042	\$ 50,145.68	\$ 29,834.90	\$ 3,140.52	\$ 7,360.37	\$ 90,481.47	
2043	\$ 52,567.49	\$ 27,452.98	\$ 2,889.79	\$ 7,507.58	\$ 90,417.84	
2044	\$ 55,131.76	\$ 24,956.02	\$ 2,626.95	\$ 7,657.73	\$ 90,372.47	
2045	\$ 57,838.49	\$ 22,337.27	\$ 2,351.29	\$ 7,810.89	\$ 90,337.93	
2046	\$ 60,687.67	\$ 19,589.94	\$ 2,062.10	\$ 7,967.11	\$ 90,306.81	
2047	\$ 63,679.32	\$ 16,707.27	\$ 1,758.66	\$ 8,126.45	\$ 90,271.70	
2048	\$ 66,813.42	\$ 13,682.51	\$ 1,440.26	\$ 8,288.98	\$ 90,225.17	
2049	\$ 70,232.45	\$ 10,508.87	\$ 1,106.20	\$ 8,454.76	\$ 90,302.27	
2050	\$ 73,651.47	\$ 7,172.83	\$ 755.03	\$ 8,623.85	\$ 90,203.18	
2051	\$ 77,355.41	\$ 3,674.38	\$ 386.78	\$ 8,796.33	\$ 90,212.90	
Total	\$ 1,187,825.86	\$ 888,998.02	\$ 95,141.46	\$ 180,531.05	\$ 2,352,496.39	

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

**SOLMS LANDING PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 –
PARCEL 466192 – BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
THE CITY OF NEW BRAUNFELS, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 – PARCEL 466192 PRINCIPAL ASSESSMENT:
\$1,104,726.95**

As the purchaser of the real property described above, you are obligated to pay assessments to the City of New Braunfels, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Solms Landing Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

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[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

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The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

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DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

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Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Comal County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – PARCEL 466192

Installments Due 1/31	Improvement Area #1 Bond			Annual Collection Costs	Annual Installment
	Principal	Interest [a]	Additional Interest		
2026	\$ 23,186.28	\$ 50,642.32	\$ 5,523.63	\$ 4,986.54	\$ 84,338.77
2027	\$ 24,113.73	\$ 49,801.81	\$ 5,407.70	\$ 5,086.27	\$ 84,409.52
2028	\$ 25,041.18	\$ 48,776.98	\$ 5,287.13	\$ 5,188.00	\$ 84,293.30
2029	\$ 26,233.62	\$ 47,712.73	\$ 5,161.93	\$ 5,291.76	\$ 84,400.04
2030	\$ 27,293.57	\$ 46,597.80	\$ 5,030.76	\$ 5,397.59	\$ 84,319.72
2031	\$ 28,486.00	\$ 45,437.83	\$ 4,894.29	\$ 5,505.54	\$ 84,323.66
2032	\$ 29,678.44	\$ 44,227.17	\$ 4,751.86	\$ 5,615.65	\$ 84,273.13
2033	\$ 31,003.37	\$ 42,891.64	\$ 4,603.47	\$ 5,727.97	\$ 84,226.45
2034	\$ 32,460.79	\$ 41,496.49	\$ 4,448.45	\$ 5,842.53	\$ 84,248.26
2035	\$ 33,918.22	\$ 40,035.75	\$ 4,286.15	\$ 5,959.38	\$ 84,199.50
2036	\$ 35,508.13	\$ 38,509.43	\$ 4,116.56	\$ 6,078.56	\$ 84,212.69
2037	\$ 37,098.05	\$ 36,911.57	\$ 3,939.02	\$ 6,200.14	\$ 84,148.77
2038	\$ 38,820.46	\$ 35,242.15	\$ 3,753.53	\$ 6,324.14	\$ 84,140.28
2039	\$ 40,675.36	\$ 33,495.23	\$ 3,559.43	\$ 6,450.62	\$ 84,180.64
2040	\$ 42,530.27	\$ 31,664.84	\$ 3,356.05	\$ 6,579.63	\$ 84,130.79
2041	\$ 44,517.66	\$ 29,750.98	\$ 3,143.40	\$ 6,711.23	\$ 84,123.26
2042	\$ 46,637.55	\$ 27,747.69	\$ 2,920.81	\$ 6,845.45	\$ 84,151.49
2043	\$ 48,889.93	\$ 25,532.40	\$ 2,687.62	\$ 6,982.36	\$ 84,092.31
2044	\$ 51,274.81	\$ 23,210.13	\$ 2,443.17	\$ 7,122.01	\$ 84,050.11
2045	\$ 53,792.17	\$ 20,774.58	\$ 2,186.80	\$ 7,264.45	\$ 84,018.00
2046	\$ 56,442.03	\$ 18,219.45	\$ 1,917.84	\$ 7,409.74	\$ 83,989.06
2047	\$ 59,224.39	\$ 15,538.45	\$ 1,635.63	\$ 7,557.93	\$ 83,956.40
2048	\$ 62,139.24	\$ 12,725.29	\$ 1,339.50	\$ 7,709.09	\$ 83,913.12
2049	\$ 65,319.07	\$ 9,773.68	\$ 1,028.81	\$ 7,863.27	\$ 83,984.83
2050	\$ 68,498.90	\$ 6,671.02	\$ 702.21	\$ 8,020.54	\$ 83,892.67
2051	\$ 71,943.72	\$ 3,417.33	\$ 359.72	\$ 8,180.95	\$ 83,901.71
Total	\$ 1,104,726.95	\$ 826,804.76	\$ 88,485.48	\$ 167,901.31	\$ 2,187,918.50

[a] Interest is calculated at the actual rate of the PID Bonds.

Note: The figures shown above are estimates only and subject to change in annual service plan updates. Changes in administrative expenses, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

8/11/2025

Agenda Item No. A)

PRESENTER:

Garry Ford, Director of Transportation and Capital Improvements

Jordan Matney, Deputy City Manager

SUBJECT:

Discuss and consider the approval of a resolution recommended by the New Braunfels Economic Development Corporation approving a project expenditure, of up to \$240,000, to fund the Dry Comal Creek Floodplain Remapping Project, pursuant to Section 505.152 of the Texas Local Government Code

DEPARTMENT: Economic and Community Development, Transportation and Capital Improvements**COUNCIL DISTRICTS IMPACTED:** 1, 3, 5, & 4**BACKGROUND INFORMATION:**

The Dry Comal Creek (DCC) is a major waterway through New Braunfels and can be, at times, a major source of flooding. The DCC was last modeled and mapped in 2003 in the city limits and in 2005 upstream of the city limits. Outdated floodplains hinder development and hinder floodplain management as flood risks are uncertain.

The proposed DCC Remapping Project would aim to update the FEMA floodplain maps of the DCC and a portion of the Upper DCC and assist economic development opportunities within the DCC trail and the adjacent creek area. The route would start at the confluence of DCC and the Guadalupe River and end at the Soil Conservation Service Site Number 2 Reservoir in Comal County just outside city limits. The project is estimated to begin three months after securing funding and will incur approximately nine months and a final FEMA review. The anticipated benefits of this project are to (1) update floodplain maps with current data, (2) provide accurate information to assess/mitigate flood risks throughout the study area, and (3) help reduce cost hurdles for developers to undertake floodplain analyses before developing land.

This item was presented to the NBEDC at their May 15, 2025, workshop meeting. At the June 24, 2025, workshop, the NBEDC recommended to advance this item for public hearing and possible action at the July 17, 2025 meeting.

The NBEDC held a public hearing on July 17, 2025 and unanimously approved this project expenditure.

ISSUE:

Existing floodplain maps of the Dry Comal Creek are outdated - updating the FEMA maps will provide updated information in order to assess/mitigate flood risks and assist economic development opportunities within the DCC and in the adjacent land.

STRATEGIC PLAN REFERENCE:

☒ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

The NBEDC has appropriate reserves to fund this project. The not to exceed amount of \$240,000 includes a 20% contingency.

RECOMMENDATION:

Staff recommends approval of the project expenditure to fund the Dry Comal Creek Remapping Project

July 8, 2025

Carly L. Farmer, PE, CFM
Assistant City Engineer
City of New Braunfels
550 Landa Street
New Braunfels, TX 78130

Re: Dry Comal Creek PMR

Dear Ms. Farmer,

Freese and Nichols, Inc. (FNI) is pleased to submit this proposal for providing professional engineering services to the City of New Braunfels (City) to update the effective Federal Emergency Management Agency (FEMA) floodplain mapping along Dry Comal Creek and Upper Dry Comal Creek, and submit a Physical Map Revision (PMR) application for FEMA's approval. The purpose of this project is to update the FEMA effective floodplain mapping along Dry Comal Creek and a portion of Upper Dry Comal Creek, from the confluence of Dry Comal Creek and Guadalupe River to the Soil Conservation Service (SCS) Site Number 2 Reservoir, using the best available hydrologic and hydraulic (H&H) models, and incorporate National Oceanic and Atmospheric Administration (NOAA) Atlas 14 rainfall. A project location map is provided in **Figure 1**. The detailed scope of work (SOW) can be viewed in **Attachment A**.

TIME OF COMPLETION

FNI is authorized to commence work on the Project upon execution of this Agreement and agrees to complete the services in accordance with the detailed schedule included as **Attachment C**.

If FNI's services are delayed through no fault of FNI, FNI shall be entitled to equitable adjustment of compensation and FNI shall be entitled to adjust contract schedule consistent with the number of days of delay.

DELIVERABLES

- Project report in .doc and .pdf formats
- HEC-HMS and HEC-RAS models
- FEMA MT-2 forms
- GIS submittal: floodway, 100-year and 500-year floodplain delineations, Annotated FIRMs, Hydraulic Workmap, and all relevant shapefiles.

COMPENSATION

FNI will provide these services based on the rate schedule included as **Attachment CO**. These services shall be authorized for a maximum, not to exceed cost, of Two Hundred One Thousand Seventy Eight Dollars (\$201,078) in accordance with **Attachment B**. If FNI sees the Scope of Services changing so that Additional Services are needed, FNI will notify the City for OWNER's approval before proceeding.

Payment of the services shall be due and payable upon submission of a statement for services. Statements for services shall not be submitted more frequently than monthly.

Dry Comal Creek PMR

7/8/2025

Page 2 of 5

Sincerely,

Chris Trevino, PE, CCM

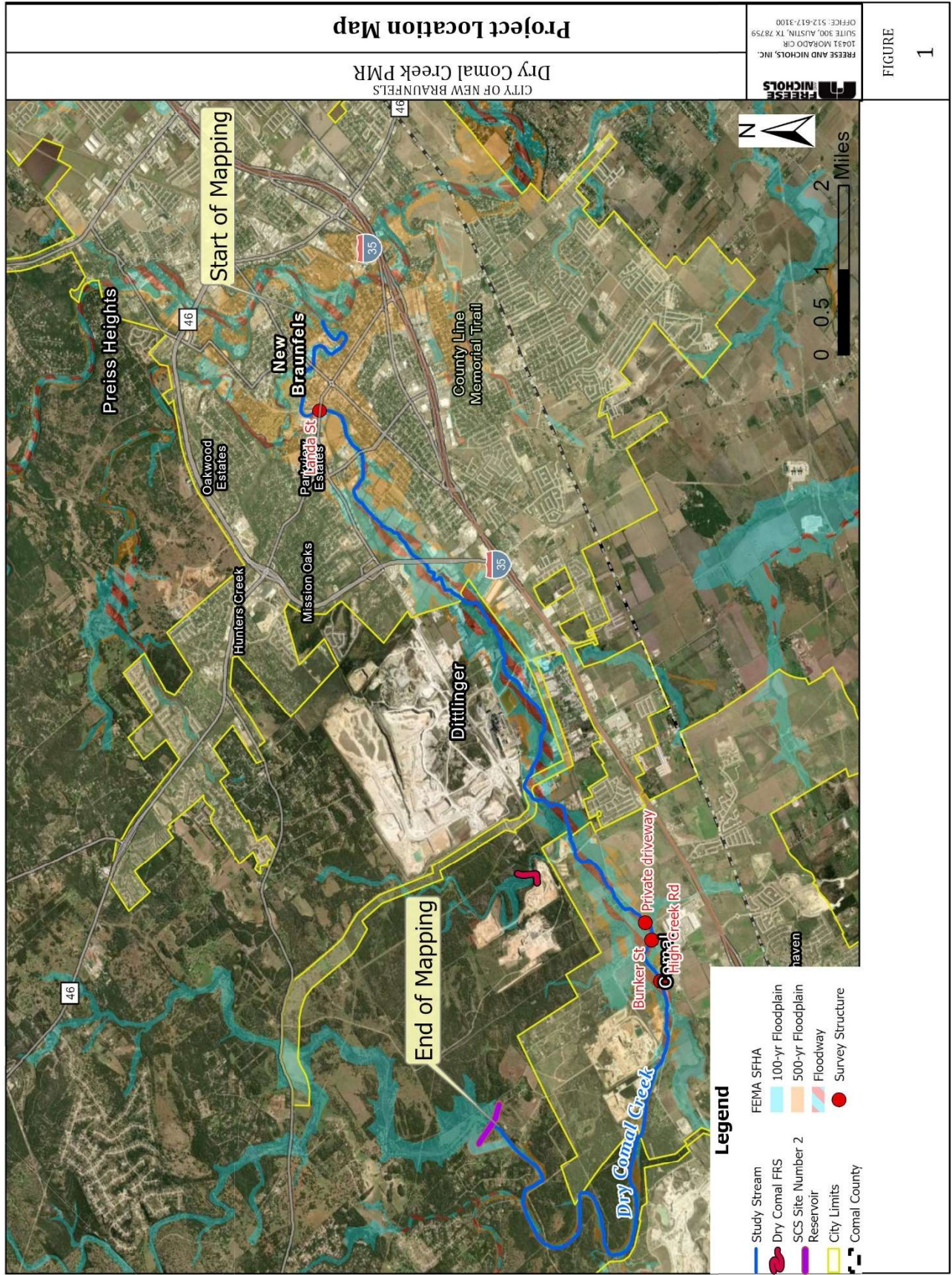
Central Texas Assistant Division Manager

cc:

Attachments:

- A: Scope of Work
- B: Fee
- C: Schedule
- CO: Compensation Rate
- D: Survey Proposal from Maestas & Associates, LLC (July 7, 2025)

DRAFT



ATTACHMENT A: Scope of Work

TASK 1. Project Management

Perform project coordination, including managing the schedule and quality control plan, and coordinating with the City throughout the duration of the project (approximately six months). Provide monthly status reports and invoices with backup documentation for the duration of the project.

TASK 2. Data Collection

1. Topography: will use the same terrain applied in the New Braunfels Drainage Area Master Plan (DAMP) project and clip to the project location.
 - a. LiDAR datasets were obtained from TNRIS 2021 LiDAR and TNRIS 2019 LiDAR.
2. Best available HEC-RAS model for Dry Comal Creek from effective LOMR studies (13-06-2849P, 20-06-1144P, 23-06-2196P, and Town Creek LOMR), to be provided by the City.
3. FEMA effective HEC-RAS models for Dry Comal Creek and Upper Dry Comal Creek.
4. DAMP H&H models and existing land use data.
5. Texas General Land Office (GLO) Comal River-Guadalupe River HEC-HMS and HEC-RAS 2D models (completed October 2024).
6. FNI report and model from the Dry Comal Creek Flood Retarding Structure (dam) project along Dry Comal Creek Tributary 13.
7. Crossing structure data from construction as-builts, to be provided by the City.
8. Survey to be performed by a subconsultant. City will provide the right of entry (ROE) for survey. The detailed survey proposal provided by Maestas & Associates, LLC, dated July 7, 2025, is included in **Attachment D**. Survey deliverables include:
 - a. Digital LEGL and TOPO drawing files in AutoCAD format to include a prepared surface model.
 - b. Tree Table and surface xml/tin files.
 - c. Electronic copies of all field notes, pictures, and sketches prepared by the surveyor.

TASK 3. H&H Analysis and Floodplain Mapping

1. Hydrology
 - a. FNI will review and utilize the HEC-HMS (version 4.10) model developed in the DAMP project. The HMS model incorporates NOAA Atlas 14 2-, 5-, 10-, 25-, 50-, 100- and 500-year frequency events rainfall, and includes the Dry Comal Creek Flood Retarding Structure (the dam) along Dry Comal Creek Tributary 13.
 - b. Only the existing land use conditions will be included in hydrologic analysis.
 - c. FNI will add depth-area analysis in the HMS model.
 - d. The DAMP hydrologic model assumes all quarries along Dry Comal Creek drain directly into Dry Comal Creek and do not account for any storage. This assumption will be maintained for this effort.
2. Hydraulics
 - a. FNI will coordinate with the City to obtain the best available HEC-RAS model from the effective LOMR studies.
 - b. FNI will utilize the best available model and update to the latest version of HEC-RAS (version 6.6 or newer). The model will include the Duplicate Effective, Corrected Effective, Existing Conditions, and Floodway plans.
 - c. FNI will perform the following updates to the best available model:
 - i. Update the best available HEC-RAS model to include the entire mapping extent using FEMA effective models for Dry Comal Creek and Upper Dry Comal Creek.

- ii. Update crossing structure inputs using construction as-builts, DAMP HEC-RAS model, survey data to be provided by a survey subconsultant, and survey data from the GLO study.
 - iii. Review the model and update the Existing Conditions cross-section geometries using the latest terrain data.
 - iv. Review and update the Existing Conditions Manning's n values based on aerial imagery if necessary.
 - v. Update the Existing Conditions plan to Atlas 14 flows.
 - vi. Develop floodway modeling.
- 3. Floodplain Mapping
 - a. FNI will develop the following mappings by exporting the floodplain boundary from RASMapper with minimal smoothing and cleanup. The final products will not be in the fully attributed FEMA geodatabase format.
 - i. Floodway mapping.
 - ii. 100-year floodplain mapping.
 - iii. 500-year floodplain mapping.
 - b. Tie-in locations
 - i. Downstream: at the confluence of Dry Comal Creek and Guadalupe River.
 - ii. Upstream: at a location just downstream of the Soil Conservation Service (SCS) Site Number 2 Reservoir.
 - iii. Tie-in with tributaries: the floodplain along Dry Comal Creek will tie-in with the effective floodplain at tributaries. Mapping for the tributaries is not included in this scope. It is assumed that certain tributaries may be remapped based on the existing flood profiles and model results if the Dry Comal Creek water surface elevations decrease at those confluences.

TASK 4. PMR Submittal

- 1. Project report documenting the hydrologic and hydraulics methodology and model results.
- 2. HEC-HMS and HEC-RAS models.
- 3. GIS submittal
 - a. Maps: five (5) annotated FIRM panels, and topographic workmap.
 - b. Shapefiles: floodplain delineations and relevant shapefiles required for PMR submittal (S_FLD_HAZ_AR, S_FLD_HAZ_LN, S_LOMR, S_XS, and S_GEN_STRUCT).
 - c. It is assumed that FEMA's contractor reviewer will prepare the final FIRM panels and incorporate shapefiles ((including attribution) into FEMA's geodatabases.
- 4. FEMA MT-2 forms. FNI assumes that the City of New Braunfels will pay the fee when we submit the review to FEMA, which is currently listed as \$8,000 (online) plus \$2,500 per FIRM panel on FEMA's website (total of \$20,500).
- 5. Address FEMA review comments on hydrology, hydraulics, and GIS submittal. It is assumed that there will be three (3) rounds of FEMA Review.

ATTACHMENT B

Dry Comal Creek PMR 7/7/2025	Project Fee Summary			
	Basic Services	\$		
	Special Services	\$		
	Total Project	\$		
				201,078

Task Description	Labor					Total Hours	Total Labor Effort	Expenses		Subconsultants		Total
	PM	SA	QC	EIT	GIS	OA		FEMA PMR Fees (\$ FIRM's)	Total Expense Effort	Maestas (Survey)	Total Sub Effort	
	\$193	\$297	\$219	\$170	\$139	\$182						
Project Management												
Project setup	4						4		\$ 23,575		\$ -	\$ 23,575
Internal kickoff meeting	3	1	1	2	1		8		\$ -		\$ -	\$ -
External kickoff meeting	3			2			5		\$ -		\$ -	\$ -
Internal meetings	32	8	8	32	16		96		\$ -		\$ -	\$ -
Project Coordination Meetings (3)	9			6			15		\$ -		\$ -	\$ -
Project Tracking (Schedule and Financials) (8 mo)	36						36		\$ -		\$ -	\$ -
Monthly Reporting / Periodic client communications (8 mo)	16					8	24		\$ -		\$ -	\$ -
Corporate Support (Operations Analyst, Accounting Specialist, Contract Administrator)						8	8		\$ -		\$ -	\$ -
Data Collection												
Survey	8			16			24		\$ -		\$ -	\$ -
	4						4		\$ -		\$ -	\$ -
Hydrologic Analysis												
Develop depth-area analysis	8	2		16			26		\$ -		\$ -	\$ -
Export model results	4	2		16			22		\$ -		\$ -	\$ -
Hydraulic Analysis												
Update model to include the entire mapping extent	2	2		8			12		\$ -		\$ -	\$ -
Update crossing structure inputs	4	2		16			22		\$ -		\$ -	\$ -
Review and update XS geometry and Manning's n, if necessary	6	2		32			40		\$ -		\$ -	\$ -
Update to Atlas 14 flows	2			6			8		\$ -		\$ -	\$ -
Develop Floodway Model	6	2		16			24		\$ -		\$ -	\$ -
QC and Correct Model	4	2	4	8			18		\$ -		\$ -	\$ -
Floodplain mapping for the existing 100-yr and 500-yr	2	2		8	8		20		\$ -		\$ -	\$ -
Floodway mapping	2	2		2	4		10		\$ -		\$ -	\$ -
PMR/FEMA Coordination												
Prepare Models for submission	8			16			24		\$ -		\$ -	\$ -
Prepare FEMA MIT-2 Forms	8			8			16		\$ -		\$ -	\$ -
Prepare PMR Report	16			40			56		\$ -		\$ -	\$ -
Prepare five (5) Annotated FIRM's, topographic workmap, and GIS shapefiles	8			8	32		48		\$ -		\$ -	\$ -
QC and address comments	8	2	8	16	16		50		\$ -		\$ -	\$ -
Submit PMR	2			4			6		\$ -		\$ -	\$ -
FEMA Coordination/Address FEMA comments (3 rounds)	24	3	6	48	36		117		\$ -		\$ -	\$ -
Total Hours / Quantity	229	32	27	326	113	16	743	20,500	\$ 23,575	\$ 38,130	\$ 43,850	\$ 201,078
Total Effort	\$ 44,197	\$ 9,504	\$ 5,913	\$ 55,420	\$ 15,707	\$ 2,912	\$ 133,653	\$ 23,575	\$ 23,575	\$ 43,850	\$ 43,850	\$ 201,078

ATTACHMENT C. SCHEDULE

ID	Task Name	Task Mode	Duration	Start	Finish	Predecessors	Qtr 4, 2025	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May
1	Notice To Proceed		0 days	Mon 10/6/25	Mon 10/6/25		10/6								
2	Task 1 - Project Management		34 wks	Mon 10/6/25	Fri 5/29/26	1									
3	1.1 Project setup		1 wk	Mon 10/6/25	Fri 10/10/25	1									
4	1.2 kickoff meetings		1 wk	Mon 10/6/25	Fri 10/10/25	1									
5	Task 2 - Data Collection		1 wk	Mon 10/13/25	Fri 10/17/25	4									
6	2.1 Structure Survey		4 wks	Mon 10/6/25	Fri 10/31/25	1									
7	Task 3 - H&H Analysis and Floodplain Mapping		65 days	Mon 10/20/25	Fri 1/16/26	5									
8	3.1 Hydrology		10 days	Mon 10/20/25	Fri 10/31/25	5									
9	3.1.1 Develop depth-area analysis		1 wk	Mon 10/20/25	Fri 10/24/25	4									
10	3.1.2 Export model results		1 wk	Mon 10/27/25	Fri 10/31/25	9									
11	3.2 Hydraulics		45 days	Mon 11/3/25	Fri 1/2/26	10									
12	3.2.1 Review Previous Studies		1 wk	Mon 11/3/25	Fri 11/7/25	10									
13	3.2.2 Update crossing structure inputs		1 wk	Mon 11/3/25	Fri 11/7/25	6									
14	3.2.3 Update cross-sections and Manning's n		1 wk	Mon 11/10/25	Fri 11/14/25	13									
15	3.2.4 Update to Atlas 14 flows		1 wk	Mon 11/17/25	Fri 11/21/25	14									
16	Thanksgiving Holiday		1 wk	Mon 11/24/25	Fri 11/28/25	15									
17	3.2.5 Develop Floodway Model		1 wk	Mon 12/1/25	Fri 12/5/25	16									
18	3.2.6 QC		1 wk	Mon 12/8/25	Fri 12/12/25	17									
19	3.2.7 Address comments		1 wk	Mon 12/15/25	Fri 12/19/25	18									
20	Christmas Holiday		2 wks	Mon 12/22/25	Fri 1/2/26	19									
21	3.3 Mapping		10 days	Mon 1/5/26	Fri 1/16/26										
22	3.3.1 Floodplain mapping		1 wk	Mon 1/5/26	Fri 1/9/26	20									
23	3.3.2 Floodway mapping		1 wk	Mon 1/12/26	Fri 1/16/26	22									
24	Task 4 - PMR Submittal		95 days	Mon 1/12/26	Fri 5/22/26										
25	4.1 Prepare Models for submission		1 wk	Mon 1/12/26	Fri 1/16/26	22									
26	4.2 Project report		1 wk	Mon 1/19/26	Fri 1/23/26	23									
27	4.3 FEMA MIT-2 Forms		1 wk	Mon 1/26/26	Fri 1/30/26	26									
28	4.4 Prepare GIS submittal		1 wk	Mon 1/26/26	Fri 1/30/26	26									
29	4.5 QC		1 wk	Mon 2/2/26	Fri 2/6/26	28									
30	4.6 Address QC comments		1 wk	Mon 2/9/26	Fri 2/13/26	29									
31	4.7 Submit for City's review		2 wks	Mon 2/16/26	Fri 2/27/26	30									
32	4.8 Address City's comments		2 wks	Mon 3/2/26	Fri 3/13/26	31									
33	4.9 Submit PMR for FEMA Review		1 wk	Mon 3/16/26	Fri 3/20/26	32									
34	4.10 FEMA Review (1st Round)		2 wks	Mon 3/23/26	Fri 4/3/26	33									
35	4.11 Address FEMA comments		1 wk	Mon 4/6/26	Fri 4/10/26	34									
36	4.12 FEMA Review (2nd Round)		2 wks	Mon 4/13/26	Fri 4/24/26	35									
37	4.13 Address FEMA comments		1 wk	Mon 4/27/26	Fri 5/1/26	36									
38	4.14 FEMA Review (3rd Round)		2 wks	Mon 5/4/26	Fri 5/15/26	37									
39	4.15 Address FEMA comments		1 wk	Mon 5/18/26	Fri 5/22/26	38									
40	Final PMR Submittal		1 wk	Mon 5/25/26	Fri 5/29/26	39									

Task

Split

Milestone

Summary

Project Summary

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Milestone

Deadline

Progress

Manual Progress

Slippage

Project: Schedule_2022-05-04_

Date: Mon 7/7/25

<u>Position</u>	<u>Hourly Rate</u>
Professional 1	139
Professional 2	170
Professional 3	193
Professional 4	219
Professional 5	257
Professional 6	297
Construction Manager 1	120
Construction Manager 2	150
Construction Manager 3	163
Construction Manager 4	203
Construction Manager 5	245
Construction Manager 6	282
Construction Representative 1	108
Construction Representative 2	120
Construction Representative 3	150
Construction Representative 4	163
CAD Technician/Designer 1	118
CAD Technician/Designer 2	155
CAD Technician/Designer 3	189
Corporate Project Support 1	114
Corporate Project Support 2	137
Corporate Project Support 3	182
Intern / Coop	77

Rates for In-House Services and Equipment

<u>Mileage</u>	<u>Bulk Printing and Reproduction</u>		<u>Equipment</u>	
Standard IRS Rates	<u>B&W</u>	<u>Color</u>	Valve Crew Vehicle (hour)	\$75
	Small Format (per copy)	\$0.10	Pressure Data Logger (each)	\$500
	Large Format (per sq. ft.)		Water Quality Meter (per day)	\$100
	Bond	\$0.25	Microscope (each)	\$150
	Glossy / Mylar	\$0.75	Ultrasonic Thickness Guage (per day)	\$275
	Vinyl / Adhesive	\$1.50	Coating Inspection Kit (per day)	\$275
			Flushing / Cfactor (each)	\$500
	Mounting (per sq. ft.)	\$2.00	Backpack Electrofisher (each)	\$1,000
	Binding (per binding)	\$0.25		
			<u>Survey Grade</u>	<u>Standard</u>
			Drone (per day)	\$200 \$100
			GPS (per day)	\$150 \$50

OTHER DIRECT EXPENSES:

Other direct expenses are reimbursed at actual cost times a multiplier of 1.15. They include outside printing and reproduction expense, communication expense, travel, transportation and subsistence away from the FNI office. For other miscellaneous expenses directly related to the work, including costs of laboratory analysis, test, and other work required to be done by independent persons other than staff members, these services will be billed at a cost times a multiplier of 1.15. For Resident Representative services performed by non-FNI employees and CAD services performed In-house by non-FNI employees where FNI provides workspace and equipment to perform such services, these services will be billed at cost times a multiplier of 2.0. This markup approximates the cost to FNI if an FNI employee was performing the same or similar services.

These ranges and/or rates will be adjusted annually in February. Last updated 2025.

July 7, 2025

Freese & Nichols, Inc.
Liting Tao, P.E., CFM
9601 McAllister Freeway, Suite 1008
San Antonio, Texas 78216

REF: Surveying and Subsurface Utility Engineering Services for the GBRA Sunfield Water Reclamation Facility Expansion

Dear Ms. Tao:

Maestas & Associates LLC (Maestas) is pleased to provide Freese & Nichols, Inc (FNI) with this estimate for Surveying services for the City of New Braunfels Dry Comal Creek Structures Project. The base scope of work involves Maestas performing a topographic and improvement survey at four creek crossings located at High Creek Road, Bunker Street, a private road located on the Anderson Columbia Co property, and at Landa Street (Hwy 46) in Comal County, Texas.

BASE SCOPE OF SURVEYING SERVICES:

1. Records Research:
 - a. Using Comal County Appraisal District (CCAD) and Comal County Clerk websites, Maestas will gather ownership and deed information for the base drawing. Maestas will research existing plats, Right-of-Way (R.O.W.) maps, deeds, easements and perform a retracement survey to locate fence corners, monuments, iron pins, etc., to analyze and establish existing R.O.W.'s and boundary lines.
 - b. The preliminary base map will display any R.O.W.'s, easements, and boundaries along with record land ownership information and addresses as publicly available through CCAD.
2. Submit an 811 ticket to mark utilities within public rights-of-way.
3. Establish horizontal and vertical control at each site.
 - a. Horizontal control will be based on the Texas State Plane Coordinate System, South Central Zone (4204), NAD 83 (2011).
 - b. Vertical control will be based on the closest NGS monument to each site. Differential levels will be run from the NGS monuments through all control points and benchmarks established at each site.
4. Perform a boundary and R.O.W. retracement and resolution survey for each site.
5. Perform a topographic, tree, and improvement survey at each site to include the following:
 - a. Cross sections will be taken at 50-foot stations and at all significant grade breaks in between sufficient to produce a surface model at 1-foot contour intervals.
 - b. Topo will cover the width of the creek within the top of banks and extend outside of the banks by 100 feet. Topo will cover the full width of each road R.O.W. for the same extent of the creek cross sections. Topo along the creek will extend up / downstream at least 100 LF outside of the road R.O.W.'s or from the edge of the road where wholly on private property.
 - c. Locate all visible improvements including, but not limited to, tops of curbs, edges of pavement, pavement material, mailboxes, driveways, sidewalks, property monuments, utility poles, site

equipment, valves, slabs, utility signs and structures, fences, landscaping features, shrubbery, trees, buildings (footprint and finished floor elevation), cleanouts, etc.

- i. Locate all drainage structures to include culvert pipe sizes, material, and invert/flow line elevations.
 - ii. Bridges will include (but not limited to) perimeter of deck, deck elevations, support column locations and sizes, low chord elevations, abutments, and armor joints.
- d. All manholes within the project limits will be located and detailed to collect pipe inverts, material, and directions. Next upstream/downstream manhole will be located outside of limits if accessible.
- e. Measure downs to the operating nut will be collected at all valves. Next upstream/downstream valve outside of the project limits will be collected if accessible.
- f. Trees 6-inches and larger at DBH will be located.
6. Prepare deliverables to include:
 - a. Digital LEGL and TOPO drawing files in AutoCAD format to include a prepared surface model.
 - i. All surveyed points will be included in the drawing.
 - ii. Horizontal and vertical control used to perform the survey will be depicted and annotated within the drawing file referencing material type, coordinates and elevations.
 - b. Tree Table and surface xml/tin files.
 - c. Electronic copies of all field notes, pictures, and sketches prepared by the surveyor.
7. Perform QA/QC of all deliverables prior to submittal.

GENERAL NOTES AND EXCEPTIONS:

1. Right of entry (ROE) to access private/commercial properties is necessary to complete the survey as outlined above. ROE is not a part of this proposal and is the responsibility of the Client/City of New Braunfels.

Our estimated **Lump Sum** fee for the **Base Scope of Surveying Services** will be **\$38,130.00** broken down as follows:

- High Creek Road = \$7,790.00
- Bunker Street = \$9,055.00
- Anderson Columbia Co Property = \$9,135.00
- Landa Street = \$12,150.00

Sincerely,
Maestas & Associates LLC



Keith Keppler, RPLS
Vice President / Survey and S.U.E. Division

ITEM NO.	City of New Braunfels Dry Comal Creek Structures Surveying Services July 7, 2025															RPLS	S.I.T. / Survey Project Manager	Sr. Survey Tech	Survey Tech	3 Man Crew	2 Man Crew	1 Man Crew	Admin	Total Hours	Task Budget
	TASK																								
	Hourly Rate	\$	220.00	\$	140.00	\$	125.00	\$	110.00	\$	255.00	\$	190.00	\$	110.00	\$	85.00		TOTAL						
	Base Surveying Services																								
	High Creek Road																								
1	Records Research & Base Map Preparation	1	1	1	1	1	4										7	\$	925.00						
2	Establish Horizontal and Vertical Control	1	1	1	1	1					4						7	\$	1,245.00						
3	Boundary Retracement and Resolution	3	1	1	1	1					4						9	\$	1,685.00						
4	Topographic and Improvement Survey		1	1	1	1					6						8	\$	1,405.00						
5	Deliverable Preparation	2	2	2	2	2	8				1						15	\$	1,935.00						
6	QA/QC	1	1	1	1	1	1										4	\$	595.00						
	Sub-Total Hours / Fee for High Creek Rd		8	7	7	7	13	0	14	0	1	1	50	\$	7,790.00										
	Bunker Street																								
1	Records Research & Base Map Preparation	1	1	1	1	1	4										7	\$	925.00						
2	Establish Horizontal and Vertical Control	1	1	1	1	1					4						7	\$	1,245.00						
3	Boundary Retracement and Resolution	3	1	1	1	1					4						9	\$	1,685.00						
4	Topographic and Improvement Survey		1	2	2	2	8				12						15	\$	2,670.00						
5	Deliverable Preparation	2	2	2	2	2	1				1						15	\$	1,935.00						
6	QA/QC	1	1	1	1	1	1										4	\$	595.00						
	Sub-Total Hours / Fee for Bunker St		8	7	8	8	13	0	20	0	1	1	57	\$	9,055.00										
	Anderson Columbia Co Property Crossing																								
1	Records Research & Base Map Preparation	2	1	1	1	1	4										7	\$	1,005.00						
2	Establish Horizontal and Vertical Control	1	1	1	1	1					4						7	\$	1,245.00						
3	Boundary Retracement and Resolution	3	1	1	1	1					4						9	\$	1,685.00						
4	Topographic and Improvement Survey		1	2	2	2	8				12						15	\$	2,670.00						
5	Deliverable Preparation	2	2	2	2	2	1				1						15	\$	1,935.00						
6	QA/QC	1	1	1	1	1	1										4	\$	595.00						
	Sub-Total Hours / Fee for Anderson Columbia Co Property Crossing		9	6	8	8	13	0	20	0	1	1	57	\$	9,135.00										
	Landa Street (Hwy 46)																								
1	Records Research & Base Map Preparation	2	1	1	1	1	4										7	\$	1,005.00						
2	Establish Horizontal and Vertical Control	1	1	1	1	1					6						9	\$	1,625.00						
3	Boundary Retracement and Resolution	4	1	1	1	1					5						11	\$	2,095.00						
4	Topographic and Improvement Survey		1	2	2	2	12				20						23	\$	4,190.00						
5	Deliverable Preparation	2	2	2	2	2	1										19	\$	2,375.00						
6	QA/QC	1	1	1	1	1	1										6	\$	860.00						
	Sub-Total Hours / Fee for Landa St		10	7	9	9	17	0	31	0	1	1	75	\$	12,150.00										
	Total Hours		35	27	32	56	0	85	0	4	239														
	Total Fee for Surveying Services		\$	7,700.00	\$	3,780.00	\$	4,000.00	\$	6,160.00	\$	-	\$	16,150.00	\$	-	\$	340.00	\$	38,130.00					

RESOLUTION 2025-RXX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS, APPROVING A RECOMMENDATION OF THE NEW BRAUNFELS ECONOMIC DEVELOPMENT CORPORATION FOR A PROJECT EXPENDITURE OF UP TO \$240,000 TO THE CITY OF NEW BRAUNFELS FOR THE DRY COMAL CREEK FLOODPLAIN REMAPPING PROJECT, PURSUANT TO SECTION 505.152 OF THE TEXAS LOCAL GOVERNMENT CODE.

WHEREAS, the New Braunfels Economic Development Corporation (“NBEDC”) met in a workshop meeting on May 15, 2025 to consider a request from the City of New Braunfels to help fund the Dry Comal Creek Floodplain Remapping Project; and

WHEREAS, the proposed project would aim to update the FEMA floodplain maps of the Dry Comal Creek and assist economic development opportunities within the DCC trail and adjacent creek area; and

WHEREAS, anticipated benefits of this remapping project are to update floodplain maps with current data, provide accurate information to assess/mitigate flood risks throughout the study area, and to help reduce cost hurdles for developers to undertake floodplain analyses before developing land; and

WHEREAS, this expenditure is authorized under 505.152 of the Texas Local Government Code; and

WHEREAS, the NBEDC held a public hearing on July 17, 2025 to request public comments about this project expenditure; and

WHEREAS, after discussing the item, the NBEDC voted to approve the expenditure in an amount up to \$240,000 to the City of New Braunfels to fund the Dry Comal Creek Floodplain Remapping Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

Section 1: That the recommendation of the New Braunfels Economic Development Corporation to approve a project expenditure of \$240,000 to the City of New Braunfels for the Dry Comal Creek Floodplain Remapping Project is hereby approved.

Section 2: That a contract between the NBEDC and the City will be executed to fulfill the terms and conditions of the project expenditure and the NBEDC President and Secretary are authorized to execute the document.

Section 3: That this resolution shall become effective from and after the date of its passage.

PASSED, ADOPTED, AND APPROVED this XX day of XXXXX, 2025.

CITY OF NEW BRAUNFELS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

8/11/2025

Agenda Item No. B)

PRESENTER:

Carly Farmer, Assistant City Engineer

SUBJECT:

Discuss and consider the second reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on both sides of Arroyo Verde from Goodwin Lane to Arroyo del Sol.

DEPARTMENT: Transportation and Capital Improvements**COUNCIL DISTRICTS IMPACTED:** 4**BACKGROUND INFORMATION:****City Council approved the first reading 6-1 on July 28, 2025.**

Engineering staff received a request from the Arroyo Verde HOA concerning school traffic at the entrance to the Arroyo Verde subdivision. Arroyo Verde is a residential subdivision located off the west side of Goodwin Lane and is located approximately 300 feet from the property line of Oak Creek Elementary School, situated on the east side of Goodwin Lane. The HOA requested a no parking zone to be installed on both sides of Arroyo Verde between Goodwin Lane and Arroyo del Sol due to parked vehicles waiting for school pick-up and drop-off obstructing through traffic on the street and causing safety concerns at the intersection of Arroyo Verde and Goodwin Lane.

Observations were conducted by staff in April and May 2025, during afternoon pick-up hours for Oak Creek Elementary School. Multiple vehicles were observed to be parked along both sides of Arroyo Verde between Goodwin Lane and Arroyo del Sol. During all observations, staff noted that vehicles would park in close proximity to the stop sign and blocking the crosswalk ramps at the intersection with Goodwin Lane. When vehicles were parked along both sides of Arroyo Verde, the remaining pavement width for through traffic was 14 feet. Staff did not see any vehicles having difficulty getting by the parked vehicles or navigating the intersection at Goodwin Lane. The remainder of the parking activity in the Arroyo Verde subdivision related to school release was concentrated in the neighborhood pool parking lot. Staff did not observe any vehicles parked on Arroyo del Sol between Arroyo Loma and Arroyo Sierra.

A no parking zone is recommended on both sides of Arroyo Verde between Goodwin Lane and Arroyo del Sol to preserve intersection operations at the intersection with Goodwin Lane and reduce safety concerns. Staff has also identified other neighborhood streets off of Goodwin Lane that may benefit from parking restrictions due to school traffic. Staff will be conducting additional observations and contacting the Quail Valley and Wasser Ranch HOAs to discuss parking activity and recommended actions. Similar no parking zones have previously been established on neighborhood entrances off of FM 1101 due to concerns with school traffic from the nearby

schools. Past observations conducted by staff demonstrate compliance with these established no parking zones.

ISSUE:

The Arroyo Verde HOA requested a no parking zone on Arroyo Verde between Goodwin Lane and Arroyo del Sol.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☒ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

Traffic control signs cost approximately \$150 each. Sufficient funding is available in the FY 2025 Approved Streets and Drainage Budget.

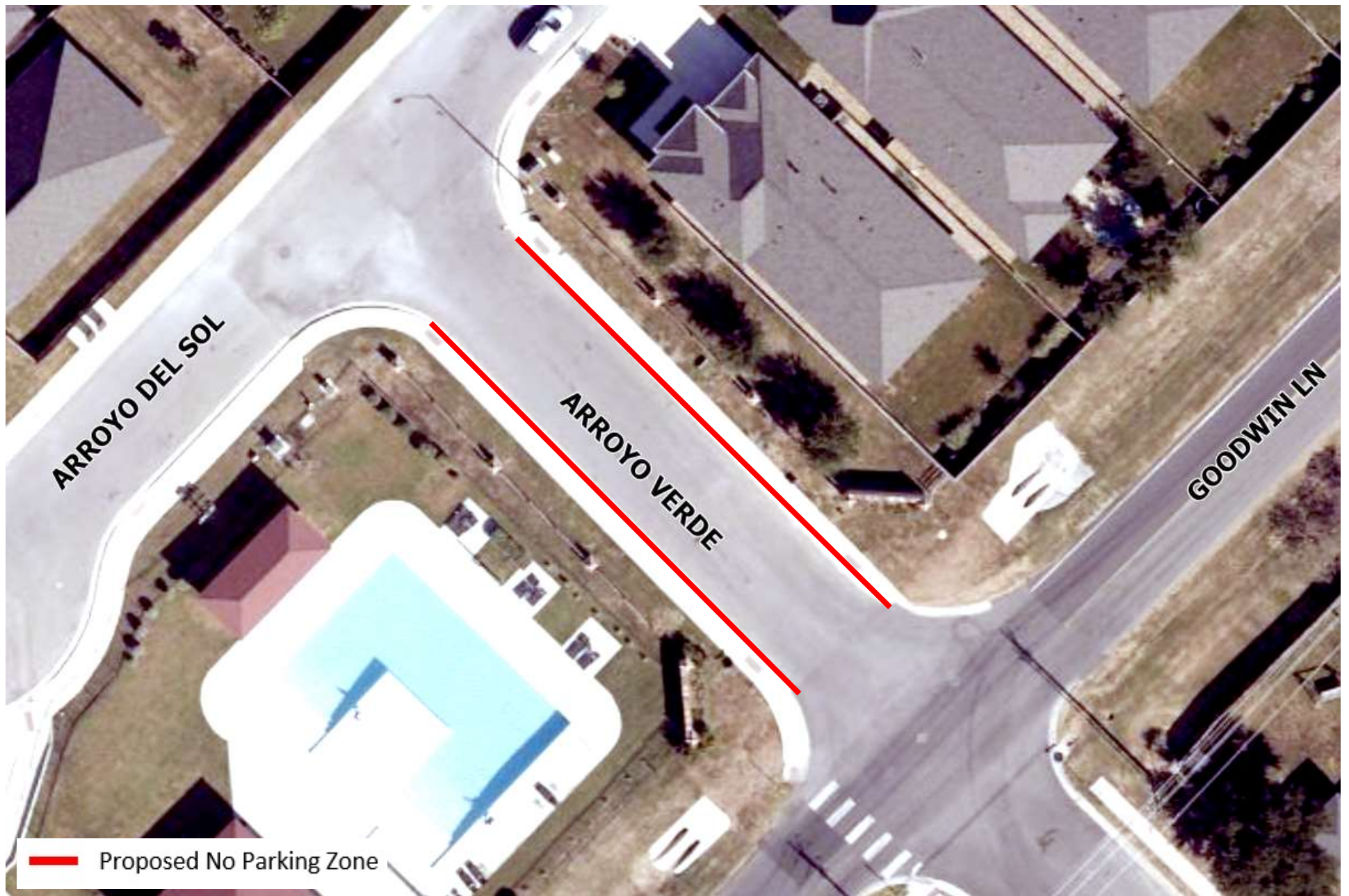
RECOMMENDATION:

Transportation and Traffic Advisory Board

The Transportation and Traffic Advisory Board unanimously recommended approval at their July 10, 2025 meeting.

Staff

Staff recommends restricting parking on both sides of Arroyo Verde from Goodwin Lane to Arroyo del Sol.



ORDINANCE NO. 2025-_____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW
BRAUNFELS, TEXAS, AMENDING SECTION 126-346 TO RESTRICT
PARKING ON ARROYO VERDE**

WHEREAS, after engineering and field investigation, the City Engineer has recommended that traffic control signs be installed on certain streets, avenues, thoroughfares and boulevards within the corporate limits of the City of New Braunfels in order to protect the health, safety and welfare of the citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

I.

THAT the City of New Braunfels Code of Ordinances Section 126-346 (e) is hereby amended as follows:

- (5) On both sides of Arroyo Verde from the intersection with Goodwin Lane to the intersection with Arroyo del Sol. Such no parking zone shall be designated as a tow-away zone.

II.

THAT all provisions hereof are hereby declared to be severable and if any provisions hereof is declared to be invalid or unconstitutional, such shall not invalidate or affect the remaining provisions hereof which will be and remain in full force and effect.

III.

THAT it is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance.

IV.

This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office. This Ordinance must also be published in a newspaper of general circulation at least one time within ten (10) days after its final passage, as required by the City Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this the 28th day of July, 2025.

PASSED AND APPROVED: Second reading this the 11th day of August, 2025.

CITY OF NEW BRAUNFELS, TEXAS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, CITY ATTORNEY

8/11/2025

Agenda Item No. C)

PRESENTER:

Carly Farmer, Assistant City Engineer

SUBJECT:

Discuss and consider the second reading of an ordinance to amend Section 126-346 of the Code of Ordinances of the City of New Braunfels to restrict parking on the northeast side of Old FM 306 from Hunter Road to Common Street.

DEPARTMENT: Transportation and Capital Improvements, Public Works

COUNCIL DISTRICTS IMPACTED: 4

BACKGROUND INFORMATION:

City Council approved the first reading 5-2 on July 28, 2025.

Staff received a request from a property owner for a no parking zone along their property frontage on Old FM 306 due to concerns about damage to the pavement and roadway shoulder on Old FM 306 by parked vehicles.

Old FM 306 is a two-lane minor collector that begins at FM 306 and ends to the north of Hunter Road. The posted speed limit is 30 mph. It is uncurbed, has segments of sidewalks, and has a vegetated shoulder which transitions into a roadside earthen drainage channel. The property which no parking is requested is located on the east corner of the intersection of Old FM 306 and Hunter Road and is mostly comprised of vacation rental cottages. A series of duplex homes have direct driveway access to the southwest side of Old FM 306 between Hunter Road and Common Street. Other adjacent land uses on the northeast side of Old FM 306 include storage lots for the tractor supply store and a church at the southeast end of the street.

As part of the evaluation for the request, city staff conducted site visits in April 2025 to observe the current conditions of the pavement, roadway shoulder, and parking activity. The pavement width on Old FM 306 was measured to be between 22 and 24 feet. Vehicles were observed parked on the vegetated shoulder during all site visits. The edge of pavement, shoulder, and earthen channel were observed to be degrading due to vehicle parking activity. The roadway conditions and parking activity were discussed with the Streets and Drainage Division of the Public Works Department. Streets and Drainage staff supported parking restrictions along Old FM 306 due to maintenance concerns over damage to the pavement and changes to drainage conveyance from frequent parking activity.

ISSUE:

A property owner on Old FM 306 requested a no parking zone along their property frontage on Old FM 306.

STRATEGIC PLAN REFERENCE:

☐ Economic Mobility ☒ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

Traffic control signs cost approximately \$150 each. Sufficient funding is available in the FY 2025 Approved Streets and Drainage Budget.

RECOMMENDATION:**Transportation and Traffic Advisory Board**

The Transportation and Traffic Advisory Board unanimously recommended approval at their June 12, 2025 meeting.

Staff

Staff recommends restricting parking on the northeast side of Old FM 306 from the intersection with Hunter Road to the intersection with Common Street.



Figure 1 - Existing Old FM 306 (facing northwest)



Figure 2 – Vehicles parked off the pavement along Gruene Cottages property



Figure 3 – Damage to the edge of pavement, vegetated shoulder and drainage area within the ROW



No Parking Zone Request - Old FM 306 (Hunter Rd to Common St)



ORDINANCE NO. 2025-_____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW
BRAUNFELS, TEXAS, AMENDING SECTION 126-346 TO RESTRICT
PARKING ON THE NORTHEAST SIDE OF OLD FM 306 FROM HUNTER
ROAD TO COMMON STREET**

WHEREAS, after engineering and field investigation, the City Engineer has recommended that traffic control signs be installed on certain streets, avenues, thoroughfares and boulevards within the corporate limits of the City of New Braunfels in order to protect the health, safety and welfare of the citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

I.

THAT the City of New Braunfels Code of Ordinances Section 126-346 (f) is hereby amended as follows:

- (140) On the northeast side of Old FM 306 from the intersection with Hunter Road to the intersection with Common Street. Such no parking zone shall be designated as a tow-away zone.

II.

THAT all provisions hereof are hereby declared to be severable and if any provisions hereof is declared to be invalid or unconstitutional, such shall not invalidate or affect the remaining provisions hereof which will be and remain in full force and effect.

III.

THAT it is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this Ordinance are severable and, if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared invalid by the final judgment or decree of any court of competent jurisdiction,

such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance.

IV.

This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office. This Ordinance must also be published in a newspaper of general circulation at least one time within ten (10) days after its final passage, as required by the City Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this the 28th day of July, 2025.

PASSED AND APPROVED: Second reading this the 11th day of August, 2025.

CITY OF NEW BRAUNFELS, TEXAS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, CITY ATTORNEY

8/11/2025

Agenda Item No. D)

PRESENTER:

Jeff Jewell, Economic and Community Development Director
Jonathan Packer, President & CEO, New Braunfels Chamber of Commerce

SUBJECT:

Discussion and possible action approving a resolution recommended by the New Braunfels Economic Development Corporation approving a project expenditure, of up to \$3,800,000, to Alamo Colleges District - Northeast Lakeview College for a primary job training facility and career center, pursuant to Sections 501.101 and 501.105 of the Texas Local Government Code.

DEPARTMENT: Economic and Community Development

COUNCIL DISTRICTS IMPACTED: 2 & 4

BACKGROUND INFORMATION:

Alamo Colleges' Northeast Lakeview College (NLC) has operated an extension location at the Central Texas Technology Center since the Fall 2023 semester. During this first semester, 125 students were enrolled in 10 courses. Significant enrollment growth has occurred and for the Spring 2025 semester, 400 students are enrolled in 25 courses. Since 2023, NLC has invested operationally by funding marketing, infrastructure, rebranding, and technology improvements; and with personnel investments by hiring a DPS Officer, Lab Technician, Academic Programs Specialist, College Services Coordinator, Faculty, Admin Support Specialists, Advisors, and a Director. Total NLC investments at the Central Texas Technology Center surpass \$1M. The present location is at capacity and the educational and training needs of the community are still in high demand.

NLC has invested \$13.6M to acquire a 58,000+ square foot commercial building at the corner of Old FM 306 and Sundance Parkway and anticipates opening for classes in the Fall of 2026. NLC also has the adjacent 2.2 acres under contract for future facility expansion. NLC's plans are to expand course offerings and enrollment potential to include construction management, engineering technology, and logistics and supply chain management and to relocate the allied health, natural sciences, and information technology programs. To accommodate and prepare the space for all these eventual offerings, NLC will need to upgrade the facilities at an approximate cost of \$8 million.

The New Braunfels Economic Development Corporation approved a grant of \$1,200,000 to help assist with the expansion project at its May 15, 2025 meeting. NLC has recently indicated that its design team recommends a single-phase comprehensive remodel. This approach offers significant economic savings and the strongest strategic advantage for its students, faculty, staff, and community partners. Benefits of a single-phase approach include cost efficiency, minimized disruptions, operational simplicity and accreditation alignment and an improved student experience and marketing clarity. The NBEDC received a presentation about this single-phase approach at its June 24, 2025 meeting, held a public hearing on July 17, 2025 and unanimously approved the project expenditure. Without the additional funding recommended in July, NLC will be required to minimize its academic and training offerings and delay the rollout of these programs until a date uncertain.

ISSUE:

Consideration of a funding request to aid the construction and expansion of Northeast Lakeview College in New Braunfels from their location at the Central Texas Technology Center to their newly purchased building on Old FM 306 and Sundance Parkway. Originally planned as a multi-phased approach, the project has since pivoted to be a single-phase to provide cost and operational benefits.

STRATEGIC PLAN REFERENCE:

☒ Economic Mobility ☐ Enhanced Connectivity ☐ Community Identity
☐ Organizational Excellence ☒ Community Well-Being ☐ N/A

FISCAL IMPACT:

Graduates of the college programs are expected to earn a combined \$48 million annually, averaging about \$82,000 per worker across 589 direct jobs. These workers will support a broader economic impact of \$281 million in total output, including 443 additional indirect and induced jobs. Total annual workers' earnings are estimated at \$68 million, and the total value added to the economy is \$169 million.

The NBEDC has appropriate reserves to fund this project request. Any funding levels can be modeled to demonstrate the impacts to the NBEDC's reserve levels and expense commitments.

RECOMMENDATION:

Staff recommends approval of the additional project expenditure to Northeast Lakeview College for the expansion and relocation project.

RESOLUTION 2025 – RXX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS TEXAS, APPROVING A RECOMMENDATION OF THE NEW BRAUNFELS ECONOMIC DEVELOPMENT CORPORATION FOR AN ADDITIONAL PROJECT EXPENDITURE OF UP TO \$3,800,000 TO ALAMO COLLEGES DISTRICT – NORTHEAST LAKEVIEW COLLEGE TO COMPLETE A CONSTRUCTION AND EXPANSION PROJECT, PURSUANT TO SECTIONS 501.101 AND 501.105 OF THE TEXAS LOCAL GOVERNMENT CODE.

WHEREAS, Northeast Lakeview College (“NLC”) was established in 2007 at Loop 1604 and Kitty Hawk Road as the newest institution in the Alamo Colleges District and currently enrolls more than 5,000 students from Bexar, Comal, and Guadalupe counties; and

WHEREAS, in Fall 2023, NLC began operating in New Braunfels at the Central Texas Technology Center by providing ten courses to 125 enrolled students; and

WHEREAS, as of Spring 2025, NLC at New Braunfels offers 25 courses to 400 students with ever increasing interest from more and more students in the community; and

WHEREAS, the demand for additional course offerings and more space led NLC to purchase a 58,000 square foot commercial building at the corner of Old FM 306 and Sundance Parkway (the “SITE”); and

WHEREAS, NLC plans to expand course offerings and enrollment to include construction management, engineering technology, logistics and supply chain management – with plans to relocate the allied health, natural sciences, and information technology programs from the Central Texas Technology Center to the SITE; and

WHEREAS, this planned expansion and relocation from the Central Texas Technology Center is anticipated imminently and NLC anticipates opening doors for classes in the Fall of 2026 at the SITE; and

WHEREAS, to accommodate and prepare the SITE, NLC will need to build out electrical labs, engineering technology, and classroom renovations for an estimated \$3,900,000; and

WHEREAS, the NBEDC approved an initial grant of \$1,200,000 at its May 15, 2025 meeting to help fund Phase 1, as the initial construction plan was a two-phased approach; and

WHEREAS, NLC has since modified its construction plan to a single-phase approach to aid in cost efficiency, minimized service disruptions, operational simplicity, accreditation alignment, marketing clarity, and an overall improved student experience; and

WHEREAS, the NBEDC considered an additional grant request of \$3,800,000 from NLC at its June 24, 2025 meeting; and

WHEREAS, after holding a public hearing on July 17, 2025, the NBEDC voted to approve the additional grant request, in an amount up to \$3,800,000, for the construction and expansion project, pursuant to Sections 501.101 and 501.105 of the Texas Local Government Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

Section 1: That the recommendation of the NBEDC to approve an additional project expenditure of up to \$3,800,000 to NLC for the construction and expansion project is hereby approved.

Section 2: That a contract between the NBEDC and NLC will be executed to fulfil the terms and conditions of the project expenditure and the NBEDC President and Secretary are authorized to execute the agreement.

Section 3: That this Resolution shall become effective from and after the date of its passage.

PASSED, ADOPTED, AND APPROVED this 11 day of August, 2025.

CITY OF NEW BRAUNFELS

NEAL LINNARTZ, MAYOR

ATTEST:

GAYLE WILKINSON, CITY SECRETARY

**CONTRACT BETWEEN THE NEW BRAUNFELS ECONOMIC DEVELOPMENT
CORPORATION AND NORTHEAST LAKEVIEW COLLEGE**

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF COMAL §

THIS CONTRACTUAL AGREEMENT (the "Agreement") is made and entered into by and between the New Braunfels Economic Development Corporation, a Non-Profit Corporation of the State of Texas, hereinafter called "NBEDC", acting by and through its duly authorized officers, and Northeast Lakeview College, an institution of higher education, hereinafter called "NLC," acting by and through its officers:

WITNESSETH:

I.

WHEREAS, Texas Local Government Code §501.054 provides the NBEDC with the powers of non-profit corporations incorporated under the Texas Non-Profit Corporation Act, as amended, and Section Seven of the Bylaws of the NBEDC allows for the President and Secretary of the NBEDC to execute any contract which the Board has approved and authorized to be executed; and

WHEREAS, NLC was established in 2007 at Loop 1604 and Kitty Hawk Road as the newest institution in the Alamo Colleges District and currently enrolls more than 5,000 students from Bexar, Comal, and Guadalupe counties; and

WHEREAS, in Fall 2023, NLC began operating in New Braunfels at the Central Texas Technology Center providing ten courses to 125 enrolled students; and

WHEREAS, as of Spring 2025, NLC at New Braunfels offers 25 courses to 400 students with ever increasing interest from more and more students in the community; and

WHEREAS, the demand for additional course offerings and more space led NLC to purchase a 58,000 square foot commercial building within the city of New Braunfels located at 2049 Sundance Pkwy (the "SITE"); and

WHEREAS, NLC plans to expand course offerings and enrollment to include construction management, engineering technology, logistics and supply chain management – with plans to

relocate the allied health, natural sciences, and information technology programs from the Central Texas Technology Center to the SITE; and

WHEREAS, this planned expansion and relocation from the Central Texas Technology Center is anticipated eminently and NLC anticipates opening doors for classes in the Fall of 2026 at the SITE; and

WHEREAS, to accommodate and prepare the SITE, NLC will need to complete two phases of construction, with the first phase addressing electrical labs, engineering technology, and classroom renovations for an estimated \$3,900,000; and

WHEREAS, the NBEDC received a presentation at its April 17, 2025 meeting to consider this funding request; and

WHEREAS, after holding a public hearing on May 15, 2025, the NBEDC voted unanimously to support the Phase 1 Construction, in an amount up to \$1,200,000, for a primary job training facility and career center, pursuant to Sections 501.101 and 501.105 of the Texas Local Government Code; and

WHEREAS, NLC has since modified its construction plan to a single-phased construction approach to aid in cost efficiency, minimized service disruptions, operational simplicity, accreditation alignment, marketing clarity, and an overall improved student experience; and

WHEREAS, NLC requested an additional \$3,800,000 to close a funding gap in a presentation to the NBEDC on June 24, 2025; and

WHEREAS, after holding a public hearing on July 17, 2025, the NBEDC voted unanimously to support the single-phase construction approach, in amount up to \$3,800,000, for the completion of a primary job training facility and career center, pursuant to Sections 501.101 and 501.105 of the Texas Local Government Code.

II.

NOW THEREFORE, under the authority granted to the NBEDC by §501.101 and §501.105 of the Texas Local Government Code and upon the recommendation of the NBEDC, which occurred on May 15 and July 17, 2025, and the approval of the City Council of the City of New Braunfels, which occurred on July 14, and August 11, 2025, Resolutions 2025-R46 and 2025R____, an

amount of up to \$1,200,000 is authorized to be allocated to NLC for the completion of Phase 1 construction of a primary job training facility and career center in New Braunfels as indicated in Exhibit A and an amount of up to \$3,800,000 is authorized to be allocated to NLC for the complete construction of a primary job training facility and career center in New Braunfels as indicated in Exhibit B, with the total of up to \$5,000,000 to be provided by NBEDC to the NLC under the following conditions:

- (1) Up to \$1,200,000 of the funds shall be allocated from sales tax funds by the NBEDC to NLC to pay for the construction of Phase 1 as indicated in Exhibit A and an additional amount of up to \$3,800,000 for the completion of project construction as indicated in Exhibit B;
- (2) The total of up to \$5,000,000 of NBEDC funds, or parts thereof, shall be distributed to NLC within thirty (30) days of NBEDC receiving a request from the NLC with attached invoices for Qualifying Expenditures, as determined by the NBEDC;
- (3) Construction of SITE will be completed by December 31, 2026 or as agreed upon in writing by the NBEDC and NLC .
- (4) NLC shall at all times comply with the ordinances of City of New Braunfels and the laws of the State of Texas; and
- (5) All funds received by NLC from NBEDC as herein provided shall be expended solely for the purposes stated herein. Any breach of this covenant shall be cause for immediate termination of the distribution of funds and repayment to NBEDC by NLC of any funds already paid under this agreement.

III.

NLC's Post-Construction Performance Obligations. In addition to NLC's performance obligations in Section II of this Agreement, NLC agrees to the following post-construction performance obligations to avoid recapture of funds distributed under this Agreement:

- (1) NLC agrees to operate at Site a [insert community (?) college with X classes] beginning in Fall 2026 and continuing to operate at Site full Spring and Fall semesters through the Fall semester of 2030.
- (2) NLC agrees to enroll a minimum number of students at Site for each school year as indicated in the table below.

Academic Year	2026	2027	2028	2029	2030
Required Minimum Student Enrollment	506	700	835	1,019	1,178

(3) NLC agrees that residential and commercial electrical lab and cyber defense lab will be equipped and operating for each Academic Year through the Term of this Agreement.

IV.

Repayment. In the event that NLC fails to comply with the obligations of Section III of this Agreement, NLC shall, within 30 days of NBEDC's request for repayment, pay to NBEDC in accordance with the following:

(1) For failure to comply with the obligations of Section III (1) and (3), NLC must repay incentives to NBEDC in accordance with the table below

Year(s) of Operation in Compliance with III (1) and (3):	Percentage of Incentives to be repaid to NBEDC:
Under 1	100
More than 1 but under 2	80
More than 2 but under 3	60
More than 3, but under 4	40
More than 4, but under 5	20

V.

Definitions.

Academic Year includes Fall Semester, generally lasting from late-August to mid-December, and Spring Semester, generally lasting from late-January to mid-May.

Effective Date means the date on which both parties have executed this Agreement.

Site refers to Northeast Lakeview College's campus located at Old FM 306 and Sundance Parkway in New Braunfels, Texas.

Qualifying Expenditures are expenditures made by NLC that NBEDC determines are in fulfillment of the requirements in Section II of this Agreement as depicted in Exhibits A and B.

Student means a person who is enrolled in at least one class for at least one semester at the Site.

Term means the period from the Effective Date to May 31, 2031.

VII.

In the performance of this contract, NLC shall not discriminate against any person because of his/her race, color, religion, national origin, sex, disability or ancestry. Breach of this covenant may be regarded as a material breach of the contract causing its termination.

VII.

It is expressly understood and agreed by both parties hereto that each acts independently of each other, and neither has the authority to bind the other or to hold out to a third party that it is the authority for the other. The parties hereto understand and agree that the City shall not be liable for any claims, which may be asserted by any third party occurring in connection with the performance of the NBEDC.

Nothing contained herein shall be deemed or construed by the parties hereto or by any third party as creating the relationship of employer-employee, principal agent, joint ventures or any other similar such relationships, between the parties hereto.

VIII.

Employment of Undocumented Workers. During the Term of this Agreement, NLC agrees not to knowingly employ an undocumented worker and if convicted of a violation of 8 U.S.C. Sec. 1324a(f), the NLC shall repay the amount of the Grant and any other funds received by the NLC from the NBEDC as of the date of such violation within sixty (60) days after the date the NLC is notified by the NBEDC of such violation, plus interest at the rate periodically announced by the

Wall Street Journal as the prime or base commercial rate, or if the Wall Street Journal shall ever cease to exist or cease to announce a prime or base lending rate, then at the annual rate of interest from time to time announced by Citibank, N.A. (or by any other New York money center bank selected by the NBEDC) as its prime or base commercial lending rate, from the date of such notice until paid.

IX.

All communications between NBEDC and NLC shall be addressed to the President of the New Braunfels Economic Development Corporation, c/o City of New Braunfels, 550 Landa Street, New Braunfels, Texas 78130. Any communication to NLC shall be addressed to the President of NLC at 1201 Kitty Hawk Road, NLIB 316B – Universal City, TX - 78148.

X.

It is understood and agreed that in the event any provision of this contract is inconsistent with requirements of law, the requirements of law will control and the parties shall revert to their respective positions, which would otherwise be enjoyed or occupied by the respective parties for the terms of this contract.

XI.

The foregoing instrument in writing between the parties herein, constitutes the entire agreement between the parties relative to the funds made the basis hereof, and any other written or oral agreement with the NBEDC being expressly waived by NLC.

IN WITNESS WHEREOF, the parties hereto execute this agreement in duplicate originals on this ____ day of _____, 2025.

CITY OF NEW BRAUNFELS
ECONOMIC DEVELOPMENT CORPORATION

By: _____
Shane Hines, *President*

Date: _____

By: _____

Larry Hammonds, *Secretary*

Date: _____

(Signatures Continue on Next Page)

HEADWATERS AT THE COMAL

By: _____

Dr. Veronica Garcia, Ph.D, *President*

Date: _____

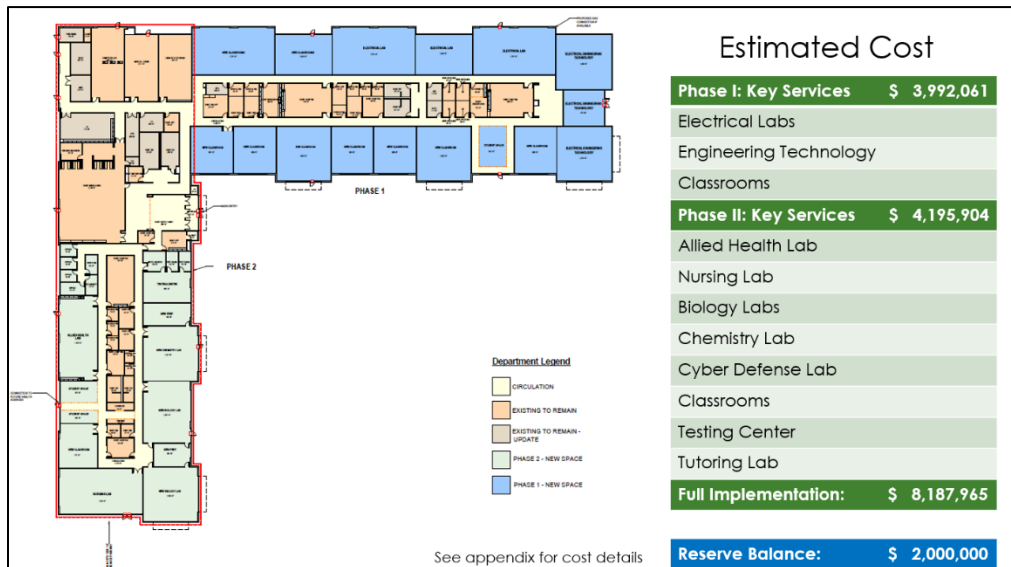
Before me, _____, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that _____ executed the same as the act of the NLC, for the purposes and consideration therein expressed.

Subscribed and sworn to be before this _____ day of _____, 2025.

Notary Public

My commission expires: _____

EXHIBIT A



ACD Northeast Lakeview College -New
Braunfels Sundance Phase 1
5-Feb-2025

Phase 1 Estimate



SUMMARY

CSI DIVISION

13,500 SF

Schematic Design Estimate

01	General Requirements	\$	160,075.00	\$	11.86	
02	Existing Conditions	\$	23,500.00	\$	1.74	
03	Concrete	\$	-	\$	-	
04	Masonry	\$	-	\$	-	
05	Metals	\$	-	\$	-	
06	Wood, Plastics and Composites	\$	28,950.00	\$	2.14	
07	Thermal & Moisture Protection	\$	6,750.00	\$	0.50	
08	Doors and Glass	\$	43,900.00	\$	3.25	
09	Finishes	\$	307,479.70	\$	22.78	
10	Specialties	\$	52,825.00	\$	3.91	
11	Equipment	\$	123,750.00	\$	9.17	
12	Furnishings	\$	-	\$	-	
13	Special Construction	\$	-	\$	-	
14	Conveying	\$	-	\$	-	
21	Fire Protection	\$	60,750.00	\$	4.50	
22	Plumbing	\$	176,783.20	\$	13.10	
23	HVAC	\$	630,413.00	\$	46.70	
26	Electrical	\$	452,875.00	\$	33.55	
27	Communications	\$	206,150.00	\$	15.27	
28	Safety and Security	\$	132,000.00	\$	9.78	
31	Earthwork	\$	4,622.22	\$	0.34	
32	Exterior Improvements	\$	22,083.33	\$	1.64	
33	Utilities	\$	42,500.00	\$	3.15	
Division Cost of Work Subtotal		\$	2,475,406.46	\$	183.36	
	Design/Estimating Contingency	7.00%	\$	173,278.45	\$	12.84
	Escalation/Inflation	6.00%	\$	158,921.09	\$	11.77
Subtotal		\$	2,807,606.00	\$	207.97	
	CM Contingency	3.00%	\$	84,228.18	\$	6.24
Cost of Work		\$	2,891,834.18	\$	214.21	
	General Conditions	3.00%	\$	96,148.76	\$	7.12
Preliminary Direct Construction Cost		\$	2,987,982.94	\$	221.33	
	Owner's Construction Contingency	3.00%	\$	89,639.49	\$	6.64
Direct Construction Cost		\$	3,077,622.43	\$	227.97	
	CM Fee	3.77%	\$	116,026.37	\$	8.59
TOTAL CONSTRUCTION (BASE)		\$	3,193,648.80	\$	236.57	

Soft Costs - estimated at 25%
Design Fees Basic Services
Design Fees Furniture
Design Fees Programming
Design Fees Equipment
Furniture
Equipment
TDLR / ADA registration
Commissioning
Artwork

8/11/2025

Agenda Item No. E)

PRESENTER:

Gayle Wilkinson, City Secretary

SUBJECT:

Discuss and consider the appointment of three Councilmembers to an Ad Hoc Committee concerning the Boards and Commissions.

DEPARTMENT: City Secretary

COUNCIL DISTRICTS IMPACTED: All districts

BACKGROUND INFORMATION:

With the alignment of board and commission appointments for the Fall and Spring, staff recommended the creation of an Ad Hoc committee to review applications and submit finalists for consideration. Staff will present a proposed timeline for review, finalists, interviews, and appointments for Fall and Spring appointment dates.

ISSUE:

Council's approval is needed for this action.

FISCAL IMPACT:

N/A

RECOMMENDATION:

Staff recommends the appointment of three (3) councilmembers to the Ad Hoc Committee concerning the Boards and Commissions.

8/11/2025

Agenda Item No. A)

SUBJECT:

Deliberate issues regarding economic development negotiations in accordance with Section 551.087 of the Texas Government Code:

1. Project Nemo