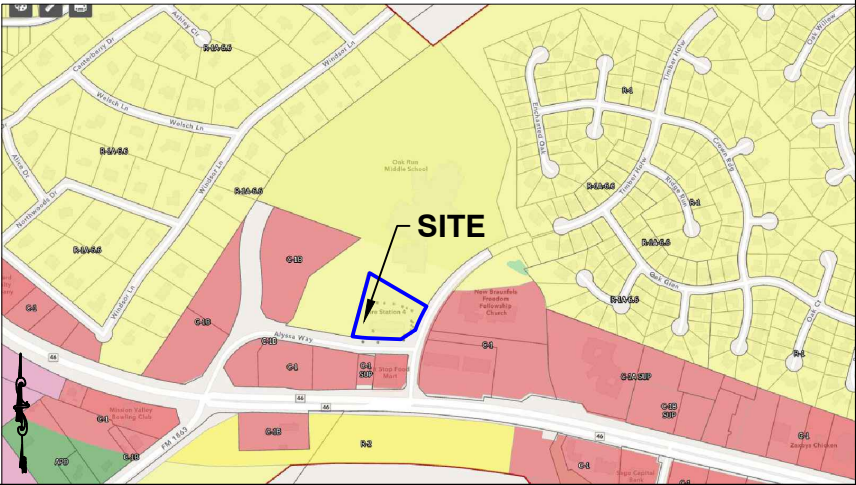


VICINITY MAP:

ZONING MAP:



SPECIAL USE PLAN

PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY WITH 120' MONOPOLE AND EQUIPMENT

PROJECT INFORMATION:

TOWER OWNER
VERTICAL BRIDGE
750 PARK OF COMMERCE DRIVE,
BOCA RATON, FL 33487

APPLICANT
VINCENT GERARD & ASSOCIATES
5524 BEE CAVES ROAD #K4,
AUSTIN, TX 78746
CONTACT: VINCE HUEBINGER
PHONE: 512.328.2693

ZONING
R-1 SINGLE FAMILY DISTRICT

SITE LOCATION
LAT. 29° 43' 20.7" N
LONG. 98° 10' 31.3" W

PROJECT TYPE
NEW 150' MONOPOLE
UNMANNED TELECOMMUNICATION
FACILITY, CONSISTING OF FUTURE
EQUIPMENT PLATFORMS, SHELTERS,
DIRECTIONAL AND GPS ANTENNAS

UTILITIES
ELECTRIC PROVIDER

PERMITTING
COUNTY: COMAL COUNTY
JURISDICTION: CITY OF NEW BRAUNFELS
BUILDING CODE: 2021 IBC
EXISTING USE: FIRE STATION
PROPOSED USE: TELECOMMUNICATIONS FACILITY

LEGAL DESCRIPTION
OAK RUN SCHOOL 2, BLOCK 1, LOT 2B

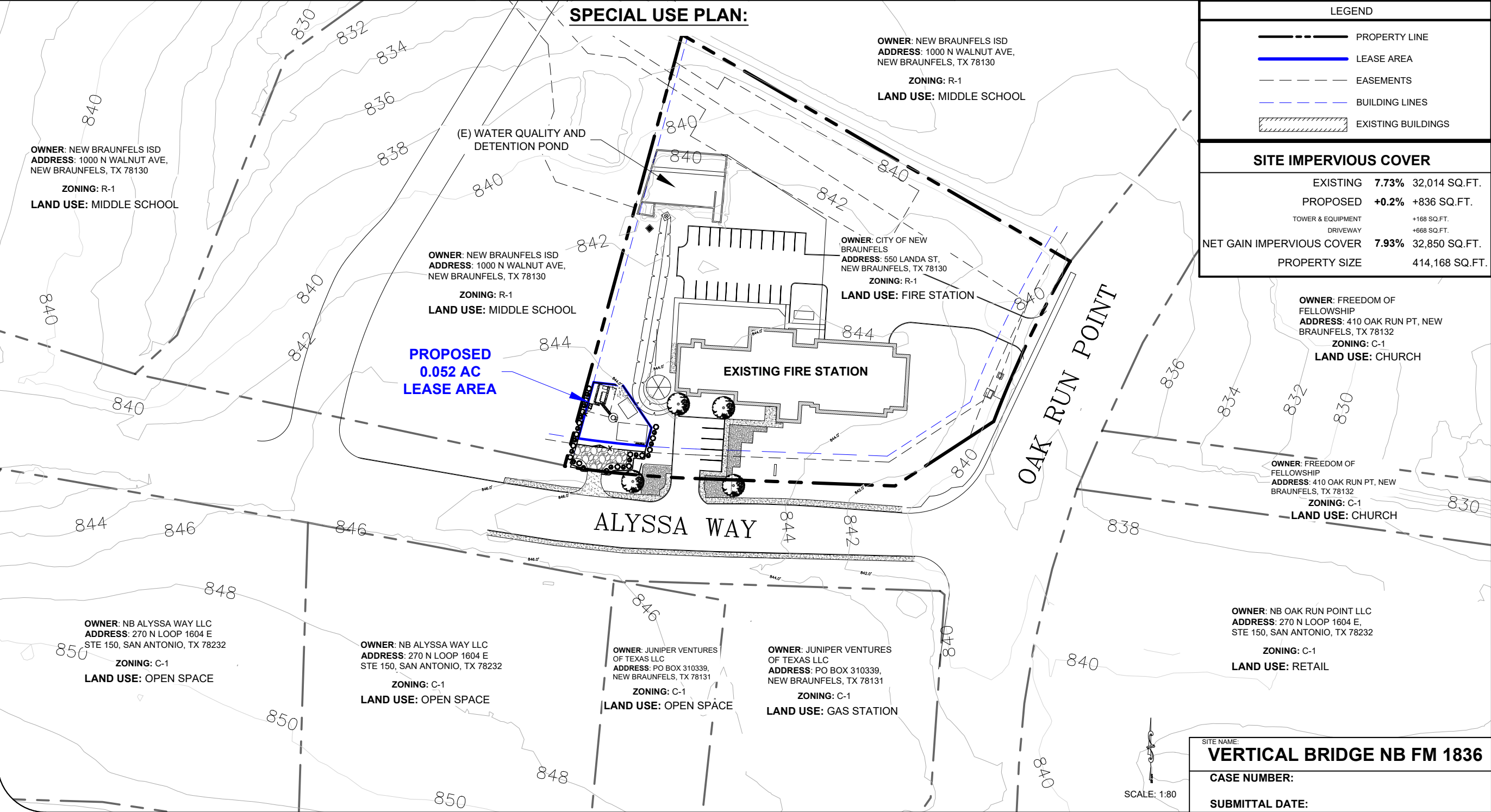
ONE-CALL TEXAS
CONTRACTOR TO CALL BEFORE DIGGING
PHONE: 811 OR 1.800.545.6000

LANDOWNER
CITY OF NEW BRAUNFELS
550 LANDA ST, NEW BRAUNFELS, TX 78130

ADDRESS
2210 ALYSSA WAY, NEW BRAUNFELS,
TX 78132
(PENDING 911 ADDRESS)

THIS SITE COMPLIES WITH SECTION 144-5.7 OF NEW BRAUNFELS CODE HOWEVER
REQUIRES A SUP DUE TO THE RESIDENTIAL ZONING ON THE FIRE STATION TRACT.

SPECIAL USE PLAN:

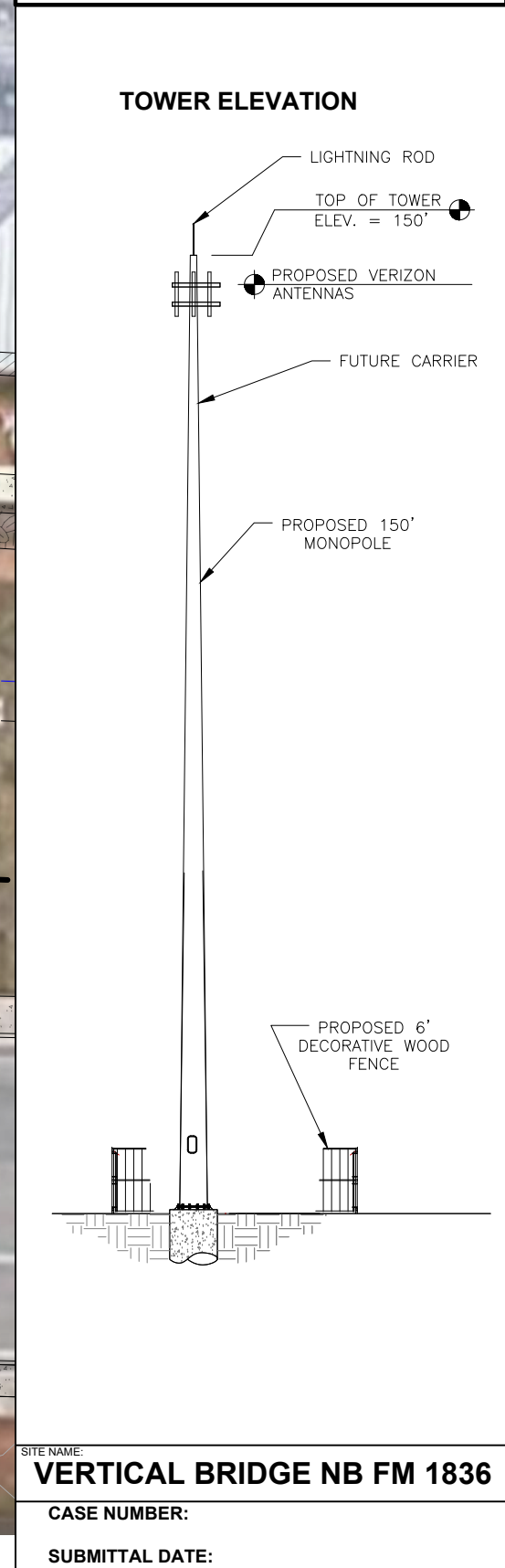




NOTES:

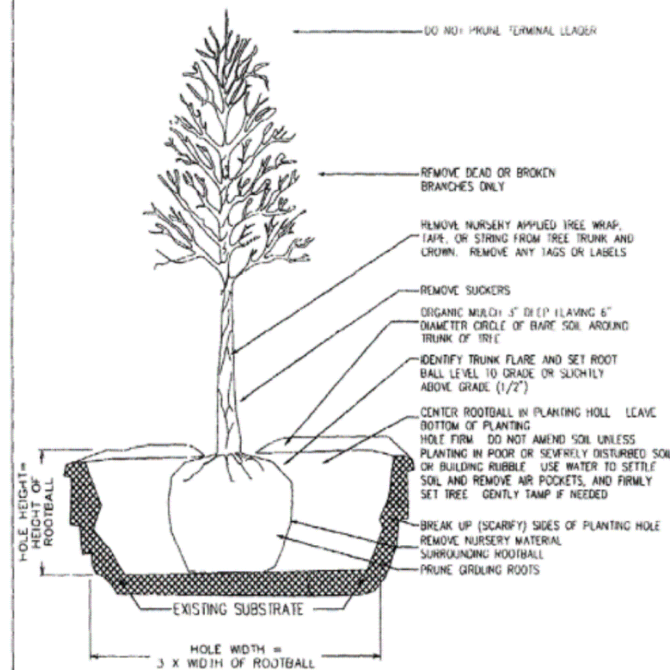
1. THIS SITE AND STRUCTURE WILL BE FILED IN ACCORDANCE WITH ALL NEW BRAUNFELS CURRENT BUILDING CODES
2. THIS STRUCTURE WILL BE CONSTRUCTED FOR UP TO 3 CARRIERS ON THE TOWER.
3. LANDSCAPING WILL BE INSTALLED ALONG WITH A TREATED WOOD FENCE FOR SCREENING. XERISCAPE DROUGHT-TOLERANT PLANTS TO BE UTILIZED. NO WATER IS NEEDED FOR THIS LAND USE. SEE LANDSCAPE PLAN SHEET 3.
4. VERTICAL BRIDGE WILL ACTIVELY MARKET FOR OTHER CARRIERS ON THIS FACILITY.

LEGEND	
	PROPERTY LINE
	LEASE AREA
	EASEMENTS
	BUILDING LINES
	EXISTING BUILDINGS
	DECORATIVE WOOD FENCE



TREE PLANTING DETAIL:

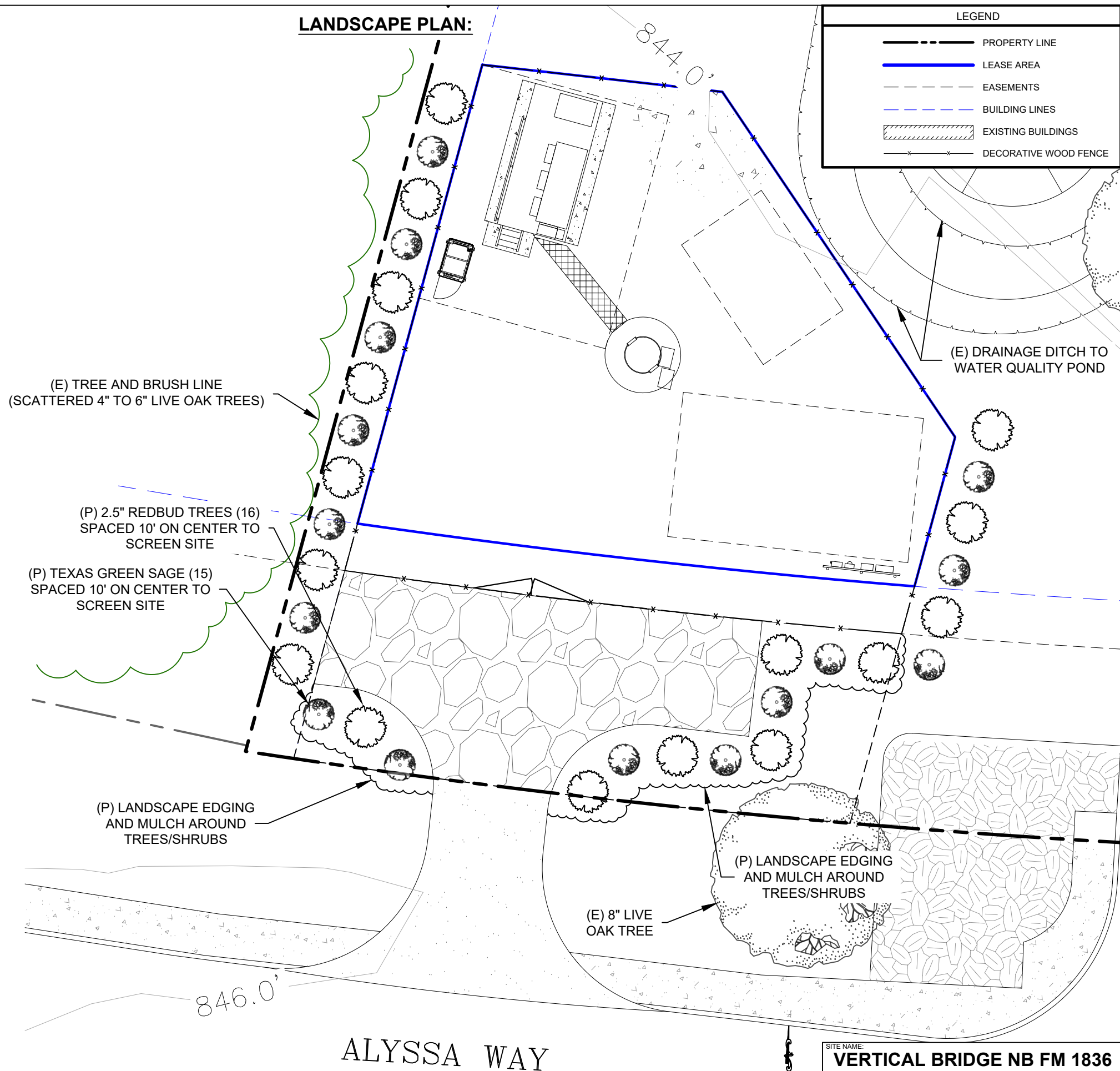
FIGURE 3-14 TREE PLANTING DETAIL



* ALTERNATIVE DETAILS CAN BE REVIEWED BY THE CITY ARBORISTS
 * STAKING MAY BE USED AT THE DISCRETION OF THE APPLICANT. POSTS AND TIES ARE TO BE ESTABLISHED WITHOUT HARMING THE TREE (E.G. NON-BINDING STRAPS, POSTS ESTABLISHED OUTSIDE OF ROOTBALL) BUT ENSURE THAT ALL STAKING MATERIAL IS REMOVED AFTER ONE YEAR.
 * SEE ANSI A300 (PART 1) FOR ADDITIONAL INFORMATION REGARDING PRUNING STANDARDS
 * SEE ANSI Z60.1 FOR NURSERY STOCK STANDARDS

NOTE:
 REFERENCE LANDSCAPE DRAWINGS FOR EXISTING PLANT AND TREE MATERIALS ON SHEET 6.

LANDSCAPE PLAN:



SCALE: 1:10

SITE NAME:
VERTICAL BRIDGE NB FM 1836
 CASE NUMBER:
 SUBMITTAL DATE:

verticalbridge

VINCENT GERARD & ASSOCIATES
 LAND PLANNING & ZONING CONSULTANTS
 1715 CAPITAL OF TEXAS WAY, SUITE 207
 DALLAS, TEXAS 75201
 (214) 343-8000 • FAX: (214) 343-8011 • vgerard@vga.net

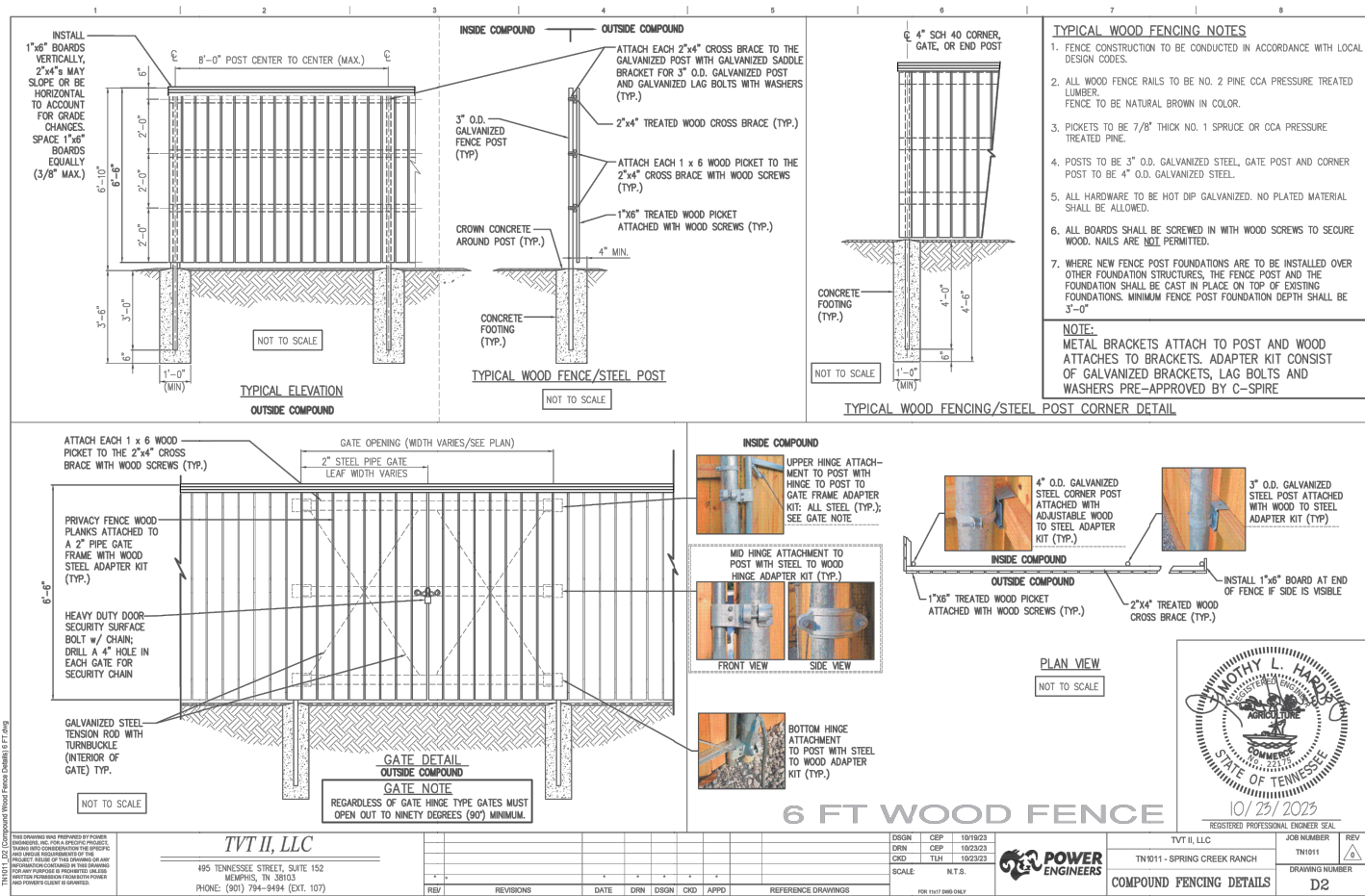
SITE INFORMATION
 2210 ALYSSA WAY, NEW
 BRAUNFELS, TX 78132
 (PENDING 911 ADDRESS)

PROPERTY OWNER
 CITY OF NEW BRAUNFELS
 550 LANDA ST. NEW
 BRAUNFELS, TX 78130

TOWER OWNER
 VERTICAL BRIDGE
 750 PARK OF
 COMMERCE DRIVE,
 BOCA RATON, FL 33487

DECORATIVE WOOD FENCE DETAIL:

1. ALL WOOD MATERIALS SHALL BE PRESSURE TREATED NO. 2 SOUTHERN YELLOW PINE OR BETTER STRUCTURAL GRADE. FENCE SLAT BOARDS SHALL BE 8'-0" WITH CHAMFERED EDGE.
2. ALL STRUCTURAL FRAMING SHALL BE ATTACHED WITH 16D GALVANIZED RIBBED SHANK NAILS OR 3" GALVANIZED FRAMING SCREWS - 2 MINIMUM PER CONNECTION.
3. ALL FENCE SLAT BOARDS SHALL BE ATTACHED TO SUPPORTING STRUCTURAL MEMBERS WITH N8, N10, OR 8D GALVANIZED RIBBED SHANKS NAILS - 2 MINIMUM PER CONNECTION.
4. LINE POSTS SHALL BE SPACED EQUIDISTANT, BUT NOT MORE THAN 8'-0" ON CENTER.
5. FOUNDATIONS ARE DESIGNED TO EMBED INTO TYPICAL SOILS INCLUDING COMPACTED COARSE SAND, MEDIUM STIFF CLAY, OR HARD DENSE CLAY. THE SOIL TYPE SHALL BE VERIFIED PRIOR TO CONSTRUCTION. IF UNUSUAL CONDITIONS ARE FOUND TO EXIST, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
6. INSTALLER TO PROVIDE A LOCKABLE GATE LATCH WITH COMBINATION LOCK ON THE ACTIVE DOOR. COORDINATE WITH THE CONSTRUCTION MANAGER FOR LOCK COMBINATION.
7. ALL GATE HARDWARE SHALL BE PRESSED STEEL OR MALLEABLE CASTING PER ASTM A153 AND TREATED TO RESIST CORROSION. HARDWARE VISIBLE FROM OUTSIDE THE FENCE SHALL BE PAINTED BLACK.
8. REFER TO SITE PLAN FOR FENCE PAINTING INSTRUCTIONS.
9. REFER TO SITE PLAN FOR GATE LOCATION.
10. FENCE DETAILS SHOWN ABOVE ARE TYPICAL AND SHALL APPLY TO SIMILAR CONSTRUCTION APPLICATIONS WHETHER SPECIFICALLY STATED OR NOT ON THE SITE PLAN.
11. SITE SPECIFIC CONDITIONS MAY REQUIRE SLIGHT ADJUSTMENTS TO THE DETAILS SHOWN. CONSULT THE ENGINEER IF UNUSUAL CONDITION ARE FOUND TO EXIST.

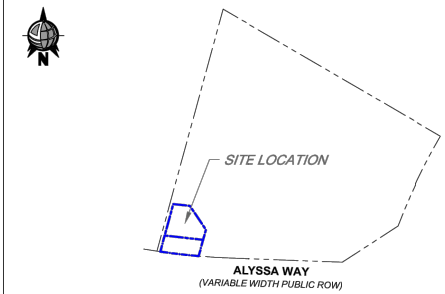


SITE NAME:	
VERTICAL BRIDGE NB FM 1836	
CASE NUMBER:	
SUBMITTAL DATE:	

REFERENCE DRAWING - SURVEY:



VICINITY MAP (N.T.S.)



PROPERTY MAP (N.T.S.)

LINE TABLE		
LINE #	DISTANCE	BEARING
L1	49.19'	N15° 12' 53"E
L2	25.00'	S83° 33' 43"E
L3	43.07'	S34° 00' 02"E
L4	16.00'	S15° 12' 53"W
L5	58.00'	N83° 34' 37"W
L6	58.00'	S83° 34' 37"E
L7	25.40'	S15° 12' 53"W
L8	25.18'	N15° 12' 53"E

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	57.98'	957.00'	03° 28' 16"	N83° 21' 41"W 57.97'

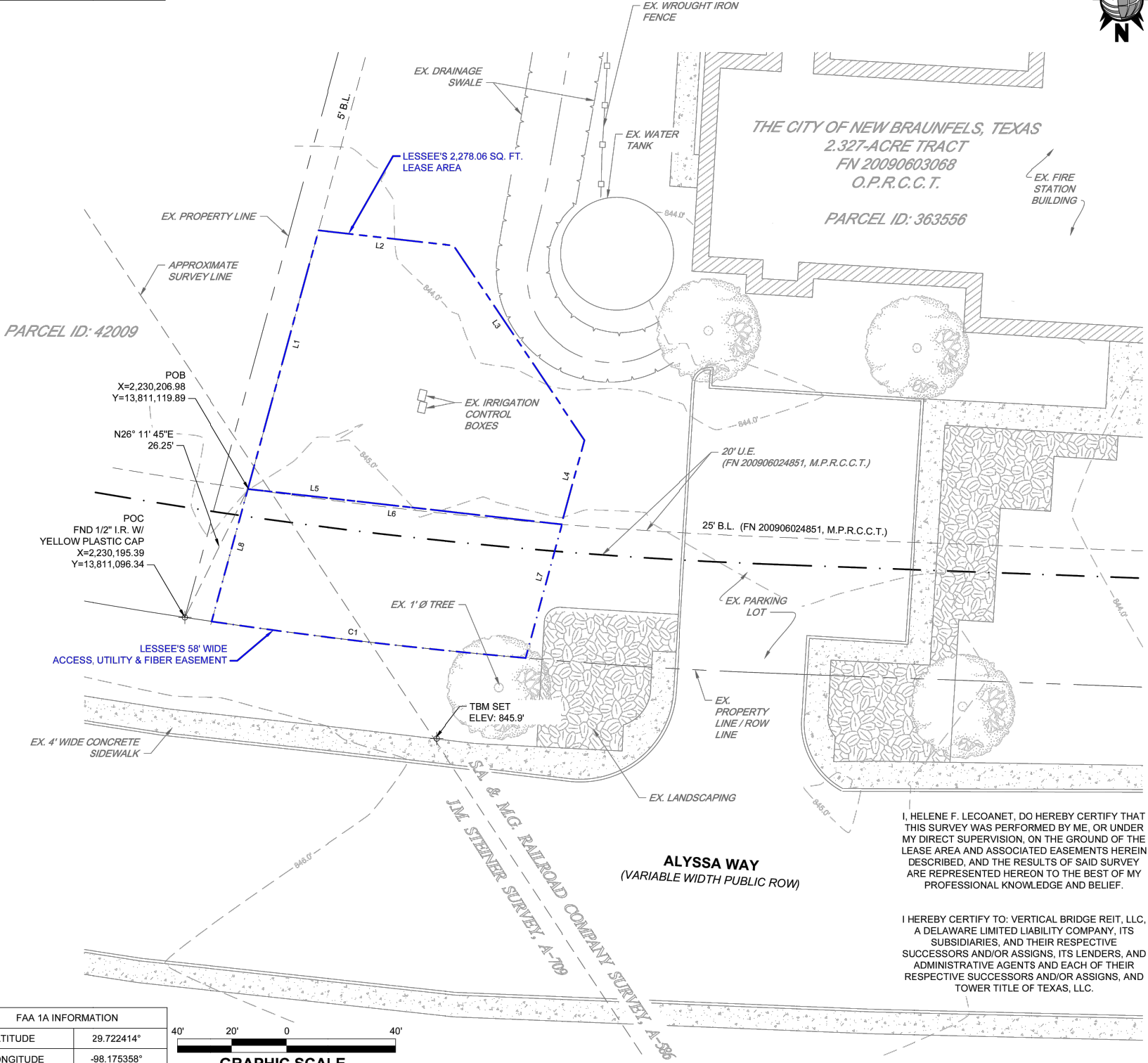
ABBREVIATIONS

A.M.S.L.	AVERAGE MEAN SEA LEVEL
A.E.	ACCESS EASEMENT
B.L.	BUILDING LINE
B.W.	BARBED WIRE
C.L.	CHAIN LINK
D.E.	DRAINAGE EASEMENT
EX.	EXISTING
FN	FILE NUMBER
FND	FOUND
I.P.	IRON PIPE
I.R.	IRON ROD
M.P.R.C.T.	MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
OH	OVERHEAD
ROW	RIGHT-OF-WAY
STM.S.E.	STORM SEWER EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
TBM	TEMPORARY BENCHMARK
TYP	TYPICAL
U.E.	UTILITY EASEMENT
W.L.E.	WATER LINE EASEMENT

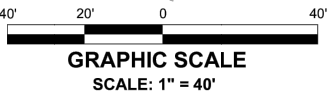
LEGEND

LESSEE'S LEASE AREA	EX. EASEMENT
LESSEE'S EASEMENT	EX. PROPERTY LINE
EX. C.L. FENCE	EX. OH POWER LINES
EX. B.W. FENCE	EX. UTILITY POLE
EX. WROUGHT IRON FENCE	EX. TELCO PEDESTAL
EX. HIGH BANK	EX. MANHOLE
EX. WIRE FENCE	

NOTE: LEASE AREA AND ASSOCIATED EASEMENTS SHALL BE CLEARED AS REQUIRED FOR CONSTRUCTION.



FAA 1A INFORMATION	
LATITUDE	29.722414°
LONGITUDE	-98.175358°
ELEVATION	844.9' A.M.S.L.



SURVEY PREPARED FOR:

verticalbridge

THE TOWERS, LLC
750 PARK OF COMMERCE DR.
SUITE 200
BOCA RATON, FL 33487
PHONE: (561) 948-6367

SURVEY PREPARED BY:

3DD&E

3D DESIGN & ENGINEERING INC.
DEPARTMENT OF SURVEYING
21502 E WINTER VIOLET CT
CYPRESS, TX. 77433
PHONE: 832-510-9621
www.3ddne.com
INFO@3DDNE.COM
TEXAS REGISTRATION NO. 10194603

REV	DATE	DESCRIPTION	BY

SITE EXHIBIT AND DESCRIPTION

VERTICAL BRIDGE - TEXAS AREA
NB_FM1863_HWY46

2212U ALYSSA WAY
NEW BRAUNFELS, TX 78132
SITE ID: US-TX-6441 / NB_FM1863_HWY46

I, HELENE F. LECOANET, DO HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED BY ME, OR UNDER MY DIRECT SUPERVISION, ON THE GROUND OF THE LEASE AREA AND ASSOCIATED EASEMENTS HEREIN DESCRIBED, AND THE RESULTS OF SAID SURVEY ARE REPRESENTED HEREON TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

I HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, ITS LENDERS, AND ADMINISTRATIVE AGENTS AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS, AND TOWER TITLE OF TEXAS, LLC.

HELENE F. LECOANET, RPLS
TEXAS REGISTRATION NO. 6567

DRAWN BY: PDM
CHECKED BY: HL
DATE: 10/3/2025

SHEET 1 OF 2

SURVEY NOT VALID WITHOUT ALL SHEETS

SITE NAME: **VERTICAL BRIDGE NB FM 1836**

CASE NUMBER:

SUBMITTAL DATE:



SITE INFORMATION

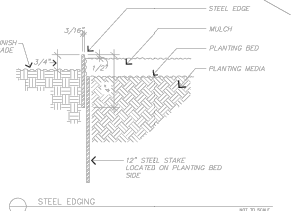
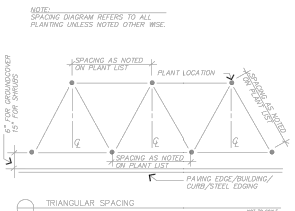
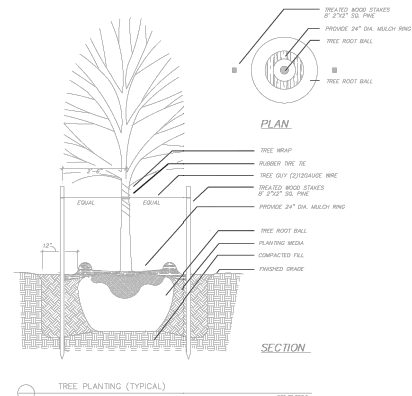
2210 ALYSSA WAY, NEW
BRAUNFELS, TX 78132
(PENDING 911 ADDRESS)

PROPERTY OWNER

CITY OF NEW BRAUNFELS
550 LANDA ST. NEW
BRAUNFELS, TX 78130

TOWER OWNER

VERTICAL BRIDGE
750 PARK OF
COMMERCE DRIVE,
BOCA RATON, FL 33487

[illegible][illegible]

- ## PLANTING NOTES
- 1.) CONTRACTOR SHALL ADHERE TO CITY OF NEW BRUNSWICK CONSTRUCTION REQUIREMENTS AND INCLUDES BUT NOT LIMITED TO: PERMITS, INSPECTIONS, AND METHODS OF MATERIAL INSTALLATION.
 - 2.) CONTRACTOR SHALL ADHERE TO ALL AGENCY REQUIREMENTS MEANS AND METHODS OF CONSTRUCTION.
 - 3.) CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT PRIOR TO INSTALLATION.
 - 4.) CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING TREES TO REMAIN AND KEEP THESE TREES PROTECTED FROM CONSTRUCTION EQUIPMENT. NO MATERIALS SHALL BE STORED WITHIN THE ROOT BALL AREA.
 - 5.) CONTRACTOR SHALL STAKE OUT LOCATION OF ALL TREES FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING.
 - 6.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
 - 7.) STEEL EDGING SHALL BE LOCATED AND INSTALLED AS NOTED ON THE PLAN AND DETAIL SHEET.
 - 8.) FINE GRADING SHALL BE PROVIDED BY THE CONTRACTOR WITHIN THE CONSTRUCTION CONTRACT LIMIT LINE.
 - 9.) TREES OVERHANGING VISIBLE EASEMENTS OF RIGHT-OF-WAY SHALL HAVE A MINIMUM CLEARANCE AS REQUIRED BY THE CITY OF ALLEN AT TIME OF INSTALLATION.
 - 10.) ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH EQUIVARIANT MATERIAL OF THE SAME SPECIES AND SIZE IF DAMAGED, DESTROYED, OR REMOVED PRIOR TO FINAL ACCEPTANCE OF LANDSCAPE.
 - 11.) ALL NEW LANDSCAPE SHALL HAVE A PERMANENT UNDERGROUND IRRIGATION SYSTEM WITH THE EXCEPTION OF AREAS NOTED AS TEMPORARY IRRIGATION ON PLAN.

[illegible][illegible]

SITE NAME: VERTICAL BRIDGE NB FM 1836	
CASE NUMBER:	
SUBMITTAL DATE:	



VIEW 1 (ALYSSA WAY) - EXISTING



VIEW 1 (ALYSSA WAY) - PROPOSED

SHEET 1 OF 2



3D DESIGN & ENGINEERING, INC.
 email: info@3ddne.com
 Tel: 832-510-9621
 www.3ddne.com

SITE INFORMATION
 NB_FM1863_HWY46
 US-TX-6441
 29.722414, -98.175358

E911 ADDRESS
 2212U ALYSSA WAY
 NEW BRAUNFELS, TX 78132

PHOTO SIMULATION
 150' MONOPOLE
 TOWER



THE TOWERS, LLC
 750 PARK OF COMMERCE DR, SUITE 200
 BOCA RATON, FL 33487
 PHONE: (561) 948-6367



VIEW 2 (INTERSECTION OF ALYSSA WAY AND OAK RUN POINT) - EXISTING



VIEW 2 (INTERSECTION OF ALYSSA WAY AND OAK RUN POINT) - PROPOSED

SHEET 2 OF 2

 3D DESIGN & ENGINEERING, INC. email: info@3ddne.com Tel: 832-510-9621 www.3ddne.com	SITE INFORMATION NB_FM1863_HWY46 US-TX-6441 29.722414, -98.175358	E911 ADDRESS 2212U ALYSSA WAY NEW BRAUNFELS, TX 78132	PHOTO SIMULATION 150' MONOPOLE TOWER	 THE TOWERS, LLC 750 PARK OF COMMERCE DR, SUITE 200 BOCA RATON, FL 33487 PHONE: (561) 948-6367
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