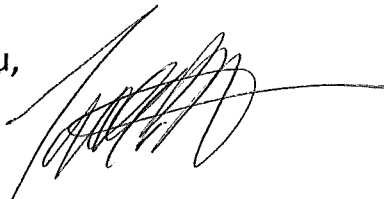


To whom it may concern:

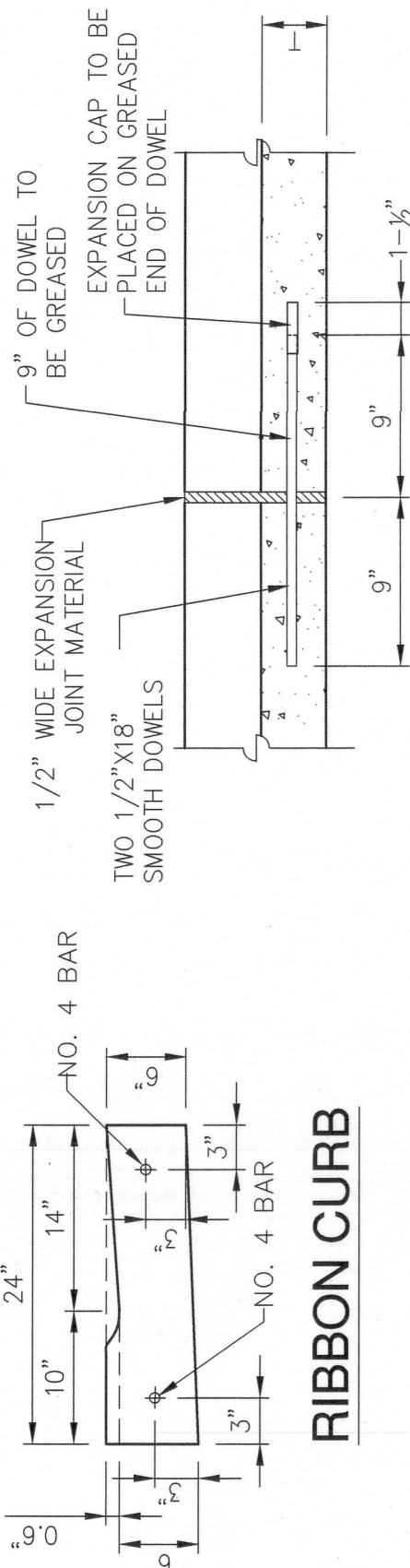
My name is Travis Batey. My wife, Veronica and I purchased the property at 476 N. Market St. in 2011. When we purchased the property it was in desperate need of repair and restoration. The current tenants had reported conflicts which were even reported to the police department. The appearance of the property was very run down. Our goal was and is to own a facility to rent out where our guests can feel safe and enjoy themselves while visiting our beautiful city. We went through the process of getting approval by the city for these rental cabins.

This brings me to the point of this letter. As we were approaching the end of our long restoration on the cabins, I realized I had not taken into consideration the placement of the water heaters and water softeners for the cabins. After numerous talks with our licensed electricians and plumbers, it was decided that the best solution was to build a separate shed/building. This would hopefully prevent a possible future gas leak from affecting our guests. There would be a chance of the water softeners freezing outdoors and there honestly is no room for a water softener in the cabins. We decided to make the shed big enough for two washers and dryers to help with washing cabin linens and for our guests to use if needed. We have put a wooden fence up with locked gates, so guests cannot get to the outdoor water heaters and gas meter. I am requesting, and would greatly appreciate, the approval of our shed by the planning and zoning committee and also the New Braunfels City Council.

Thank you,

A handwritten signature in black ink, appearing to read 'Travis E. Batey', with a long horizontal flourish extending to the right.

Travis E. Batey



LONGITUDINAL SECTION THRU CURB AND GUTTER SHOWING TYPICAL EXPANSION JOINT DETAILS. REINFORCING STEEL SHALL NOT CROSS EXPANSION JOINTS. STEEL SHALL BE TERMINATED 3'-4" FROM FACE OF THE JOINT.

- NOTES:**
1. REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 18".
 2. CURB AND GUTTER SHALL HAVE FORMED TOoled OR SAWED CONTRACTION JOINTS AT 4'-0". THE DEPTH OF THESE JOINTS SHALL BE SUFFICIENT TO ENSURE CRACKING AT THE JOINTS.
 3. CURB OR CURB AND GUTTER SHALL HAVE EXPANSION JOINTS AT POINTS OF CURVATURE, AT INTERVALS NO GREATER THAN 120' AND AT ALL ADJACENT STRUCTURES.
 4. UNLESS OTHERWISE SHOWN, TRANSITIONS BETWEEN CURBS OR CURBS AND GUTTER OF DIFFERING CROSS SECTION SHALL BE ACCOMPLISHED OVER A 10' LENGTH OR AS APPROVED BY THE DESIGN ENGINEER.
 5. ALL CONCRETE TO BE CLASS "A", 3000 PSI CONCRETE.
 6. ALL EXPOSED CONCRETE SURFACES TO BE BRUSHED SMOOTH AND UNIFORM.

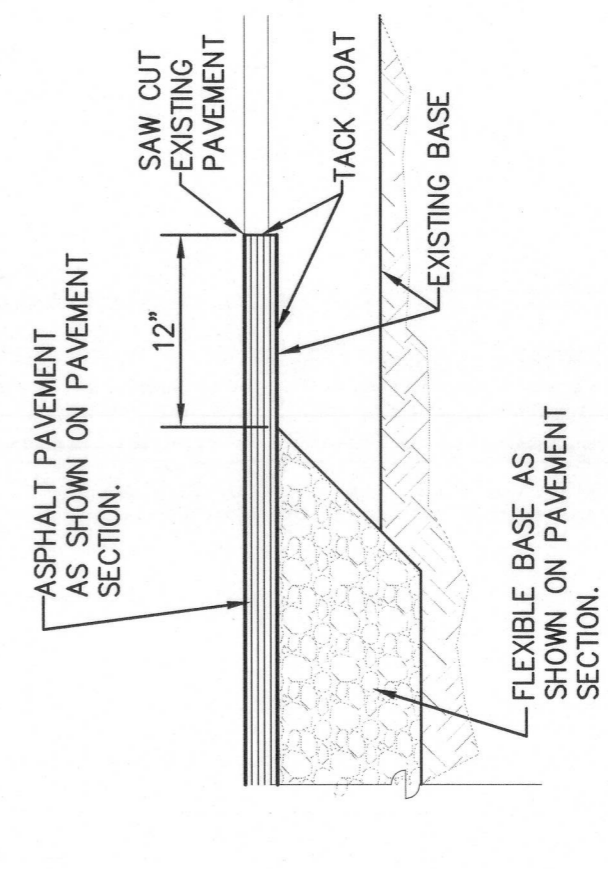
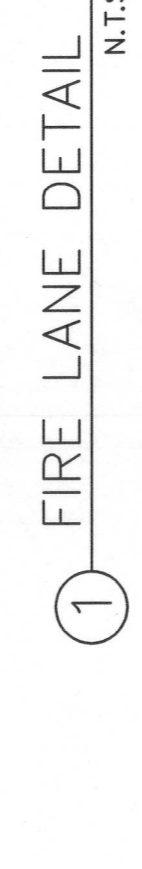
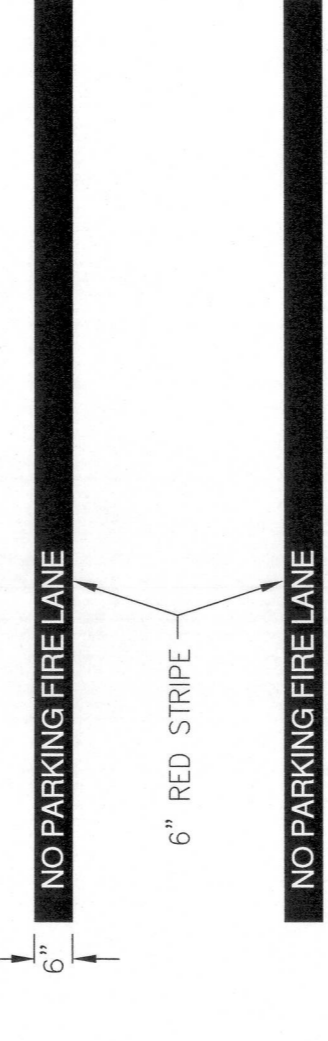
CURB AND GUTTER SECTIONS
N.T.S.

FIRE LANE NOTES:

STRIPING - THE TOP FACE OF ROAD CURBS SHALL BE PAINTED UTILIZING RED TRAFFIC PAINT STRIPING.

- A. IF NO CURBS ARE PRESENT, A SIX INCH (6") WIDE STRIPE PAINTED OF TRAFFIC RED PAINT SHALL BE PAINTED ON THE DRIVING SURFACE TO SHOW THE BOUNDARIES OF THE LANE.
- B. THE WORDS "NO PARKING FIRE LANE" SHALL BE SPACED AT A MAXIMUM OF 12 FEET APART, ALONG THE ENTIRE LENGTH OF THE LANE.

SEE ILLUSTRATION BELOW.



③ TYPICAL PAVEMENT SECTION
N.T.S.

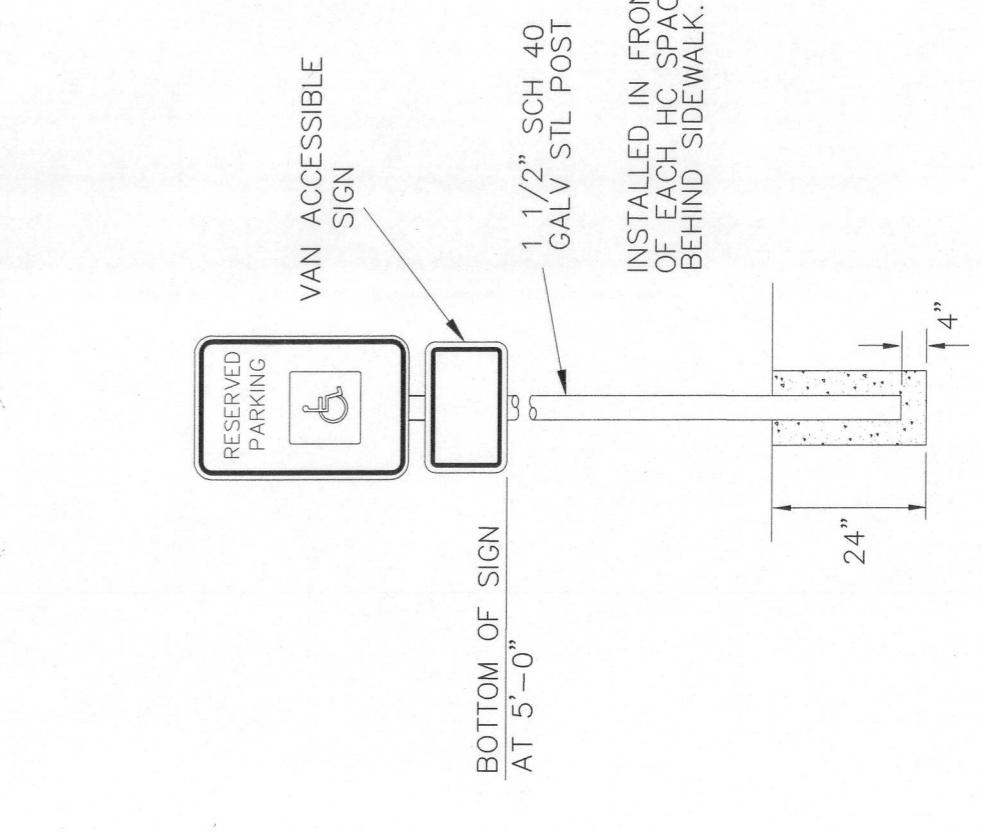
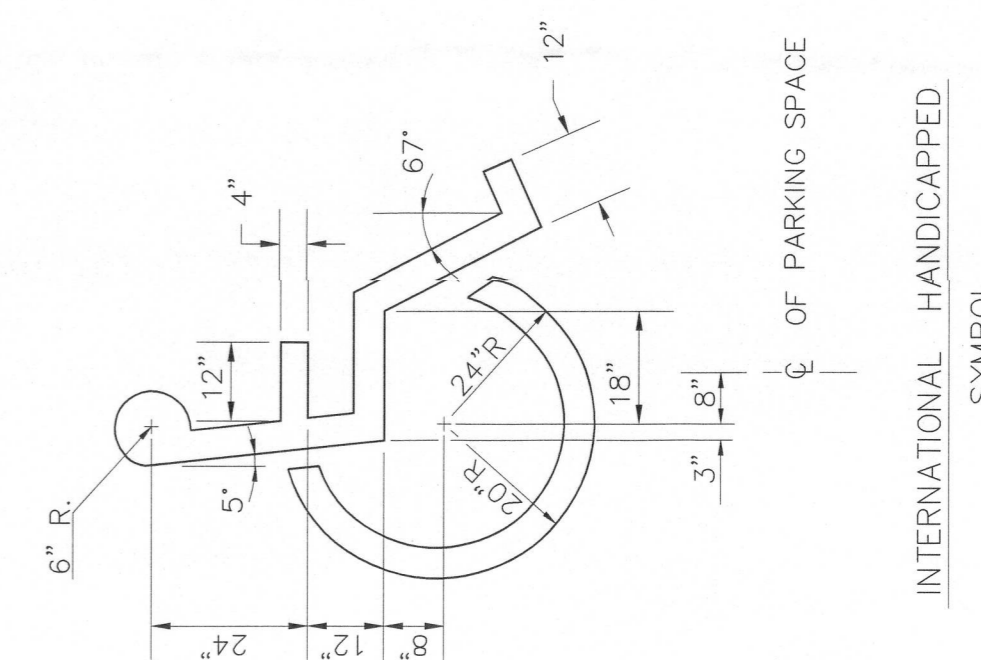
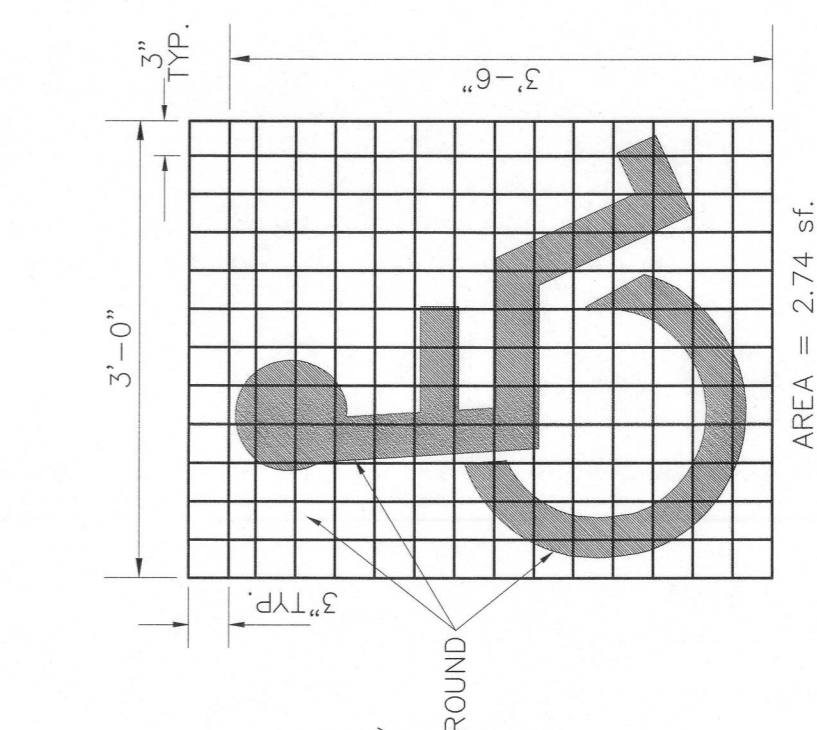
MEUSEBACH STREET
(66.66' R.O.W.)

MARKET STREET
(66.66' R.O.W.)

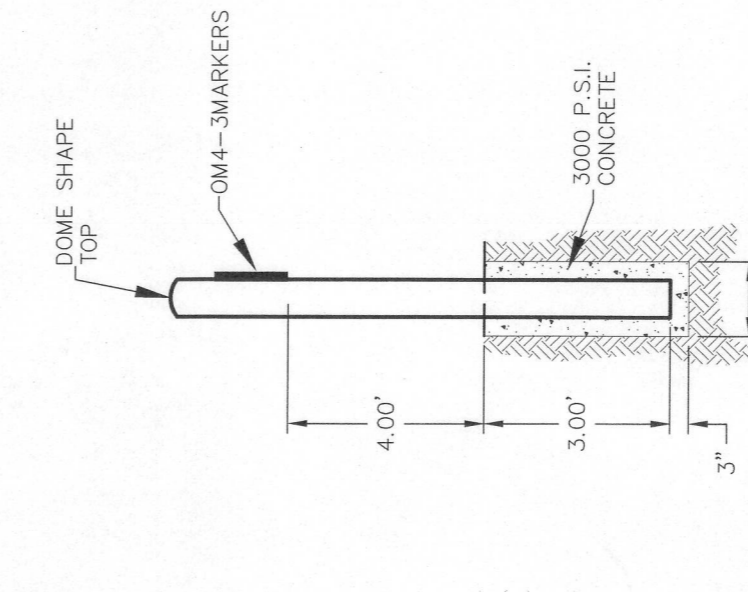


SITE PLAN KEYNOTES

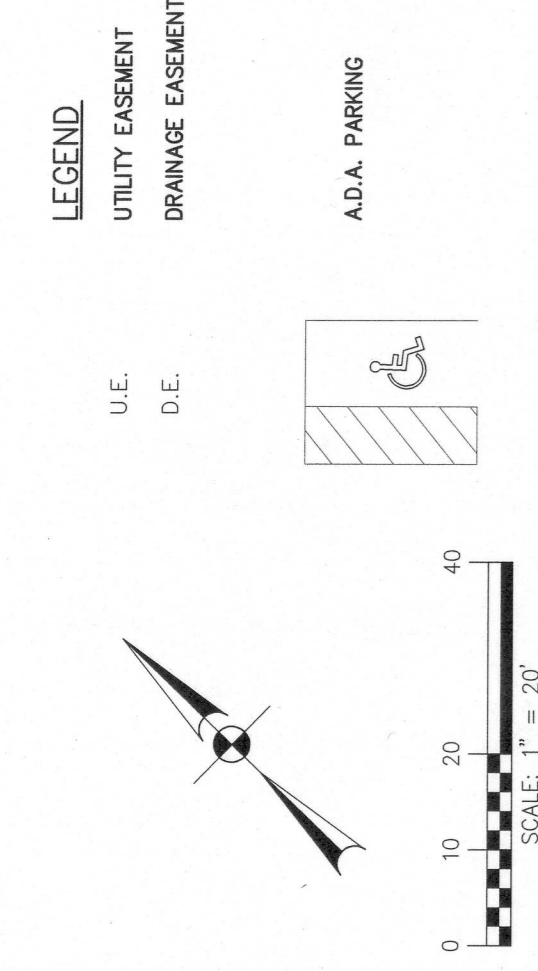
ITEM	NOTE
①	CONSTRUCT ASPHALT PAVEMENT. (LIGHT DUTY) CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION.
②	CONSTRUCT ASPHALT PAVEMENT. (HEAVY DUTY) CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION.
③	INSTALL ACCESSIBLE SPACES PER DETAIL (THIS SHEET)
④	FIRE LANE PER DETAIL (THIS SHEET)
⑤	RAILROAD TIES



BOLLARD DETAIL
NOT TO SCALE



THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



NOTES FOR DIMENSIONAL CONTROL PLAN

1. ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY DAMAGE TO SAID UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY. THESE PLANS MAY NOT SHOW ALL EXISTING UTILITIES.
3. CLIENT IS RESPONSIBLE FOR ANY ADA REVIEW FOR THIS PROJECT.
4. UTILITY ADJUSTMENTS AND RELOCATIONS OTHER THAN THOSE SHOWN HEREON MAY BE ENCOUNTERED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR TO COMPLY WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
6. CONTRACTOR TO MAINTAIN MIN. 0.5% SLOPE ON ALL CONCRETE PAVING.
7. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL SITE INFORMATION.
8. CUTS AND FILLS MAY NOT BALANCE.
9. CONTRACTOR TO PROVIDE A SWPPP FOR THIS SITE.
10. CONTRACTOR TO USE APPROPRIATE CURBS BASED ON GRADING PLAN.
11. ALL DIMENSIONS ARE TO THE FACE/EDGE OF PAVEMENT, TO CENTER OF PAVEMENT STRIPING, AND/OR PERPENDICULAR TO THE PROPERTY LINE UNLESS NOTED OTHERWISE ON THE PLANS.
12. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY QUESTIONS OR CONFLICTS ARISE CONCERNING THE INTENT OF THE DIMENSIONS SHOWN NECESSARY TO CONSTRUCT THE PROJECT.
13. ALL CONSTRUCTION SHALL MEET THE CURRENT CITY OF NEW BRAUNFELS STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND/OR THE CURRENT NEW BRAUNFELS UTILITIES CONNECTION/CONSTRUCTION POLICIES.
14. ALL STRIPING, TRAFFIC CONTROL, AND SIGNAGE SHALL MEET THE REQUIREMENTS OF THE CURRENT TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
15. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL ALONG ALL PUBLIC STREETS AND SHALL COORDINATE WITH, AND OBTAIN APPROVAL FROM, THE CITY OF NEW BRAUNFELS PRIOR TO CONSTRUCTING IMPROVEMENTS WITHIN THE CITY'S RIGHT-OF-WAY.
16. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE UTILITY COMPANIES AND OBTAIN APPROVAL FROM THE RESPECTIVE UTILITY COMPANIES IN ADVANCE.
 - a. NEW BRAUNFELS UTILITIES 830-625-3408
 - b. TIME WARNER CABLE 830-643-8434
 - c. ENTENEX 830-643-8434
 - d. TEXAS ONE CALL 800-545-4545
17. CONTRACTOR TO REFERENCE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE IMPROVEMENTS.
18. ALL PAVEMENT, UNLESS SPECIFIED AS HEAVY DUTY IS LIGHT DUTY PAVEMENT SECTION.
19. YARD AREA MUST BE 55% OF PROPERTY AREA.

CIVIL SITE CONSTRUCTION PLANS
SITE DIMENSIONAL
AND DETAILS
CONTROL PLAN

NO.	REVISION DESCRIPTION	REVISION DATE

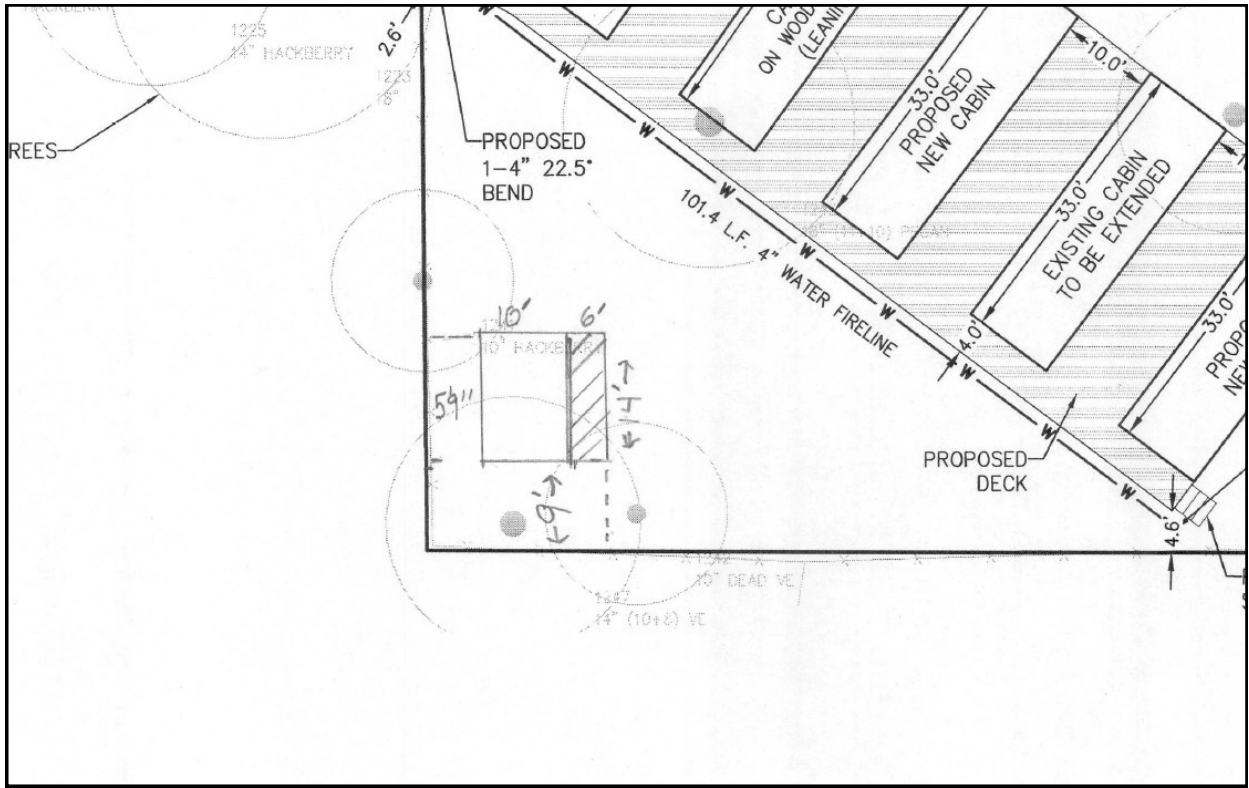
DATE: AUGUST 2016
DRAWN BY: LB
DESIGNED BY: AM
HMT PROJECT NO.: 224.001.001
REVIEWED BY: AM
DESIGNED BY: AM
HMT PROJECT NO.: 224.001.001

HMT ENGINEERING & SURVEYING

410 N. SEGUN AVE.
NEW BRAUNFELS, TX 78130
HMT INC. COM.
TBPE FIRM F-10961
(830)625-8555 FAX (830)625-8556

STATE OF TEXAS
PROFESSIONAL ENGINEER
ARNOLDO MARTINEZ JR.
51884

12/14/16



Utility shed detail on site plan.