



**CITY OF NEW BRAUNFELS, TEXAS
CITY COUNCIL MEETING**



**CITY HALL - COUNCIL CHAMBERS
550 LANDA STREET**

MONDAY, NOVEMBER 13, 2017 at 6:00 PM

Barron Casteel, Mayor	Chris Monceballez, Councilmember (District 4)
George Green, Councilmember (District 1)	Wayne Peters, Mayor Pro Tem (District 5)
Justin Meadows, Councilmember (District 2)	Leah A. García, Councilmember (District 6)
Ron Reaves, Councilmember (District 3)	Robert Camareno, City Manager

MISSION STATEMENT

***The City of New Braunfels will add value to our community
by planning for the future, providing quality services, encouraging
community involvement and being responsive to those we serve.***

AGENDA

CALL TO ORDER

CALL OF ROLL: City Secretary

INVOCATION: Councilmember Leah Garcia

PLEDGE OF ALLEGIANCE & SALUTE TO THE TEXAS FLAG

**REQUEST ALL PHONES AND OTHER DEVICES BE TURNED OFF, EXCEPT
EMERGENCY ON-CALL PERSONNEL.**

PROCLAMATIONS:

- A) Pancreatic Cancer Day
[Pancreatic Cancer Day](#)
- B) Hospice Month
[Hospice Month](#)

PRESENTATIONS:

- A) Hurricane Harvey response
Patrick O'Connell, Assistant Fire Chief
- B) Presentation and possible action regarding repairs, options, and strategies for the New Braunfels Police Department building and New Braunfels Regional Airport facilities.
Robert Camareno, City Manager
- C) Update on the Dry Comal Creek/ Comal River Watershed Protection

Plan and associated bacteria monitoring plan.

Mark Enders, Watershed Program Manager

- D) Presentation and direction on proposed fee adjustments for Landa Park Golf Course at Comal Springs.

Stacey Dicke, Parks and Recreation Director

- E) Presentation and action regarding a logo for the Das Rec, New Braunfels Recreation Center.

Stacey Dicke, Parks and Recreation Director

1. MINUTES

- A) Discuss and consider approval of the minutes of the special City Council meeting of October 16, 2017, and the regular City Council meeting of October 23, 2017.

Patrick Aten, City Secretary

[Oct 16 special](#)

[Oct 23 minutes](#)

2. CITIZENS' COMMUNICATIONS

This time is for citizens to address the City Council on issues and items of concerns not on this agenda. There will be no City Council action at this time.

3. CONSENT AGENDA

All items listed below are considered to be routine and non-controversial by the City Council and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the consent agenda and considered as part of the normal order of business.

Resolutions & Action Items

- A) Approval of the appointment of one individual to the Building Standards Commission for a term ending October 26, 2019.

Patrick Aten, City Secretary

- B) Approval of an annual contract with ESO Solutions, Inc. for the provision of software for patient reporting services on behalf of the New Braunfels Fire Department, Emergency Medical Services program.

Ethan Lindner, Fire Marshal

- C) Approval of the renewal of annual contracts for the following services: administrative support for Community Development Block Grants, ambulance billing and related professional services, fleet fuel services, and litter and floating vegetation removal services.

Jennifer Gates, Buyer

- D) Approval of the purchase of a front load garbage collection vehicle from Chastang's Bayou City Autocar and BTE Body Company Inc., through the BuyBoard and HGAC contracts.
Michael Mundell, Solid Waste Manager
- E) Approval of the purchase of vehicles from Bluebonnet Motors, Inc., Griffith Ford Seguin, LLC, and Caldwell County Chevrolet; and to declare replaced units as surplus.
Jennifer Gates, Buyer
- F) Approval of the purchase and installation of equipment for Police vehicles from GT Distributors, Inc., Applied Concepts, Inc. d/b/a Stalker Radar, Enforcement Video, LLC (WatchGuard), and the Lower Colorado River Authority via multiple cooperative contracts.
Jennifer Gates, Buyer
- G) Approval of an annual expenditure to Procore Technologies, Inc for Enterprise Construction software subscription FY 2017-18.
Bryan Woods, Assistant City Manager
- H) Approval of the FY 2018 Street Improvement Plan.
Greg Malatek, Director of Public Works
[2018 Street Improvement Plan Presentation](#)
[2018 Street Improve Plan](#)

Ordinances

(In accordance with Section 3.10 of the City Charter, a descriptive caption of each ordinance shall be read on two separate days.)

- I) Approval of the first reading of an ordinance to revise the school speed zones at Carl Schurz Elementary School, New Braunfels High School Ninth Grade Center, and Saints Peter and Paul Catholic School.
Garry Ford, City Engineer
[2017-11-13 Ordinance - Various School Speed Zones 1](#)
[2017-10 Sec 126-136 Redlines](#)
[Carl Schurz and 9th Grade map](#)
[Sts Peter and Paul map](#)
- J) Approval of the second and final reading of an ordinance amending Code of Ordinances Chapter 126 by creating Section 126-356, prohibiting parking in spaces and areas located on private property, designated for exclusive use by vehicles that display proper placard or license plates and are used for transporting persons with disabilities, and authorizing towing enforcement.

Valeria Acevedo, City Attorney

[ordinance](#)

4. **INDIVIDUAL ITEMS FOR CONSIDERATION**

- A) Discuss and consider approval of the appointment of three individuals to the Community Development Advisory Committee for terms ending December 13, 2020.

Patrick Aten, City Secretary

- B) Discuss and consider approval of the appointment of three individuals to the River Advisory Committee for terms ending December 8, 2020.

Patrick Aten, City Secretary

- C) Discuss and consider approval of the appointment of members to the Bond Advisory Committee.

Robert Camareno, City Manager

- D) Discuss and consider approval of a resolution to cast 456 votes toward the election of a member of the Comal Appraisal District Board of Directors.

Patrick Aten, City Secretary

[Comal CAD info](#)

[Comal CAD RES](#)

- E) Discuss and consider approval of a resolution to cast 102 votes toward the election of a member of the Guadalupe Appraisal District Board of Directors.

Patrick Aten, City Secretary

[Guadalupe CAD RES](#)

- F) Discuss and consider approval of the installation of speed humps on Quail Ridge between Roadrunner Avenue and West Klein Road.

Garry Ford, City Engineer

[CC Table](#)

[Quail Ridge Speed Hump map](#)

- G) Discuss and consider approval of a resolution for the determination of right-of-way, alignment and access of the Major Collector in the City of New Braunfels Regional Transportation Plan located between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road.

Garry Ford, P.E., City Engineer

[S. Solms Rd Major Collector Proposed Alignment](#)
[S. Solms Rd Major Collector Street Sections](#)
[Morningside Trails MPlan](#)
[Resolution - S. Solms Major Collector RTP](#)

- H) Discuss and consider a request for a conditional sign permit for a pole sign at the future New Braunfels Emergency Room 24-7 facility addressed at 3221 Commercial Circle.

Christopher J. Looney, Planning & Community Development Director

[Aerial Maps](#)
[Application](#)
[Proposed Site Plan](#)
[Proposed Sign Elevation](#)
[Photo Simulation](#)
[Photographs](#)
[Comparison Table Showing Allowable Signs vs. Requested Signs](#)
[Excerpt from the Sign Ordinance](#)

- I) Discuss and consider an appeal of the Non-Residential and Multifamily Design Standards for property addressed at 744 IH 35 North.

Christopher J. Looney, Planning and Community Development Director

[Aerial](#)
[Application](#)
[Site Plans](#)
[Proposed Building Elevations](#)
[Proposed Building Renderings](#)
[Zoning Map](#)
[Existing Land Use Map](#)
[Sec. 5.22](#)

- J) Discuss and consider possible direction to staff to bring forward for Planning Commission recommendation and City Council consideration amendments to the Zoning Ordinance, Chapter 144 of the Code of Ordinances, regarding Special Use Permits.

Leah Garcia, Councilmember, District 6

- K) Discuss and consider possible direction to staff to bring forward for Planning Commission recommendation and City Council consideration amendments to the Zoning Ordinance, Chapter 144 of the Code of Ordinances, regarding changes to the "C-1A" Neighborhood Business District.

Justin Meadows, Councilmember, District 2

5. EXECUTIVE SESSIONS

In accordance with Texas Government Code, Subchapter D, the City Council may convene in a closed session to discuss any of the following items; any final action or vote taken will be in public.

- A) Deliberate and consider the purchase of, exchange, lease or value of real property, in accordance with Section 551.072, of the Texas Government Code, including but not limited to:
 - acquisition of land for city facilities
- B) Deliberate pending/contemplated litigation, settlement offer(s), and matters concerning privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct in accordance with Section 551.071, of the Texas Government Code, specifically:
 - Alta Towers, LLC v. City of New Braunfels and City of New Braunfels Zoning Board of Adjustment
 - Carowest Land, Ltd. v. Yantis Company and the City of New Braunfels, (2010, 2015, and 2017 cases)
 - Yantis Company vs. City of New Braunfels, et. al. (2014 case)
 - Stop the Ordinances Please, et. al. v. City of New Braunfels
 - Collection action
- C) Deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of the City Manager in accordance with Section 551.074 of the Texas Government Code.

NOTE: The City Council reserves the right to retire into executive session concerning any of the items listed on this Agenda whenever it is considered necessary and legally justified under the Open Meetings Act (Chapter 551 of the Texas Government Code).

6. RECONVENE INTO OPEN SESSION AND TAKE ANY NECESSARY ACTION RELATING TO THE EXECUTIVE SESSION AS DESCRIBED ABOVE.

CERTIFICATION

I hereby certify the above Notice of Meeting was posted on the bulletin board at the New Braunfels City Hall on November 9, 2017, at 11:00 a.m.

Patrick Aten, City Secretary

NOTE: Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, or large print, are requested to contact the City Secretary's Office at 221-4010 at least two (2) work days prior to the meeting so that appropriate arrangements can be made.



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. A)

City of New Braunfels



Proclamation

THE STATE OF TEXAS §

COUNTY OF COMAL §

CITY OF NEW BRAUNFELS §

WHEREAS, in 2016, an estimated 53,070 people in the United States will be diagnosed with pancreatic cancer, one of the deadliest cancers, and 41,780 will die from the disease; and

WHEREAS, pancreatic cancer surpassed breast cancer this year to become the third leading cause of cancer death in the United States and it is projected to become the second leading cause by 2020; and

WHEREAS, pancreatic cancer is the only major cancer with a five-year relative survival rate in the single digits at just eight percent; and

WHEREAS, when symptoms of pancreatic cancer present themselves, it is generally in later stages, and 71 percent of pancreatic cancer patients die within the first year of their diagnosis; and

WHEREAS, approximately 3,710 deaths will occur in Texas in 2017; and

WHEREAS, pancreatic cancer is the seventh most common cause of cancer-related death in men and women across the world; and

WHEREAS, there will be an estimated 418,451 new pancreatic cancer cases diagnosed worldwide in 2020.

NOW, THEREFORE, I, BARRON CASTEEL, Mayor of the City of New Braunfels, Texas, do hereby proclaim the 16th of November 2017 as

“WORLD PANCREATIC CANCER DAY”

In the City of New Braunfels, and I urge all residents to increase awareness about pancreatic cancer and research into early detection, causes, and effective treatments.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City of New Braunfels to be affixed this 13th day of November, 2017.

CITY OF NEW BRAUNFELS, TEXAS

BY: _____
BARRON CASTEEL, Mayor



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. B)

City of New Braunfels



Proclamation

THE STATE OF TEXAS §

COUNTY OF COMAL §

CITY OF NEW BRAUNFELS §

WHEREAS, hospice care provides patients and families the highest quality pain management and symptom control, caregiver training and assistance, and emotional and spiritual support, most often delivered in the home, allowing patients to live fully up until the final moments, surrounded and supported by loved ones, friends, and committed caregivers; and

WHEREAS, 1.4 million Americans live with life-limiting illness, and their families receive care from over 4,000 hospice and palliative care programs in communities throughout the United States; and

WHEREAS, professional and compassionate hospice staff and trained volunteers-including physicians, nurses, social workers, therapists, counselors health aides, and clergy – provide comprehensive care making the wishes of each patient a priority; and

WHEREAS, providing high quality hospice care reaffirms our belief in the essential dignity of each person, regardless of age, health, or social status, and that every stage of human life deserves to be treated with the utmost respect and care.

NOW THEREFORE, I, BARRON CASTEEL, by virtue of the power vested in me as Mayor of the City of New Braunfels, Texas, and on behalf of our governing body and all the citizens do hereby proclaim November 2017 as

HOSPICE MONTH

in New Braunfels, and encourage citizens to increase their awareness of the importance and availability of hospice services and to observe this month with appropriate activities and programs.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of New Braunfels to be affixed this the 13th day of November, 2017.

CITY OF NEW BRAUNFELS

BARRON CASTEEL, Mayor



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. A)

Presenter/Contact

Patrick O'Connell, Assistant Fire Chief
(830) 221-4267 - poconnell@nbtexas.org

SUBJECT:

Hurricane Harvey response



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. B)

Presenter/Contact

Robert Camareno, City Manager
(830) 221-4280 - rcamareno@nbtexas.org

SUBJECT:

Presentation and possible action regarding repairs, options, and strategies for the New Braunfels Police Department building and New Braunfels Regional Airport facilities.

11/13/2017

Agenda Item No. C)

Presenter/Contact

*Mark Enders, Watershed Program Manager
(830) 221-4639- menders@nbtexas.org*

SUBJECT:

Update on the Dry Comal Creek/ Comal River Watershed Protection Plan and associated bacteria monitoring plan.

BACKGROUND / RATIONALE:

Staff has been working with local agencies and stakeholders to develop a Watershed Protection Plan (WPP) to address bacteria loading to the Dry Comal Creek and Comal River. The draft WPP was submitted to the Texas Commission on Environmental Quality (TCEQ) and the Texas State Soil and Water Conservation Board (TSSWCB) for review. Staff has received and is addressing comments received back from TCEQ and the TSSWCB. Staff is planning to submit to the US Environmental Protection Agency (EPA) for review and approval. An approved WPP will help the City and project partners obtain federal grant funds to implement water quality improvement projects outlined in the WPP.

The City, in conjunction with the Guadalupe Blanco River Authority (GBRA), have been monitoring bacteria concentrations in the Dry Comal Creek and Comal River on a monthly basis at twelve locations (six on the Dry Comal Creek and six on the Comal River). The WPP stakeholders and project partners recently reviewed the existing monitoring locations and have considered adding and relocating the existing monitoring stations.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

None

COMMITTEE RECOMMENDATION:

The WPP stakeholder group recommends submittal of the Dry Comal Creek/ Comal River WPP to the EPA and revising the existing bacteria monitoring plan.

STAFF RECOMMENDATION:

Staff recommends submittal of the Dry Comal Creek/ Comal River WPP to the EPA and revising the existing bacteria monitoring plan per recommendations from the WPP stakeholder group.

11/13/2017

Agenda Item No. D)

Presenter/Contact*Stacey Dicke, Parks and Recreation Director
(830) 221-4350 - sdicke@nbtexas.org***SUBJECT:**

Presentation and direction on proposed fee adjustments for Landa Park Golf Course at Comal Springs.

BACKGROUND / RATIONALE:

Based on a study completed in FY 2016-17 by Mr. Jim Keegan, Golf Convergence, green fees and memberships are recommended to be raised slightly (average 5% increase) in order to improve the financial position and viability of the golf course. Staff has briefed the City Council previously on the possibility of these adjustments and received feedback to move forward. The recommended adjustments are detailed below. Also recommended is the elimination of the "Go Play Card" and implementing a single rate for all players. It is believed that by offering one single rate, the fee structure will be less confusing to the public and will attract additional players from the region by advertising a new lower rate.

The current fees for the Landa Park Golf Course have been in effect since the post renovation re-opening in 2014.

Proposed fees are as follows:

Fee Type	Proposed Fee	Current Fee	Amount of Increase
Daily M-F, w/cart	\$45.00	\$42.50*/\$55.00	\$2.50
Daily M-F, Senior w/cart	\$39.00	\$36.50*/\$49.00	\$2.50
Weekend w/cart	\$49.00	\$46.50*/\$59.00	\$2.50
Twilight w/cart	\$35.00	\$32.50*/\$39.00	\$2.50
Daily M-F, Junior	\$10.50	\$10.00	\$.50
Weekend, Junior	\$13.00	\$12.00	\$1.00
Annual Membership	\$1890.00	\$1800.00	\$90.00
Annual Spouse	\$945.00	\$900.00	\$45.00
Annual Membership, Jr.	\$210.00	\$200.00	\$10.00
Seasonal Membership	\$840.00	\$800.00	\$40.00
Monthly Membership	\$230.00	\$220.00	\$10.00
Annual Cart	\$900.00	\$900.00	No change
Annual Trail	\$400.00	\$400.00	No change

*Player card rate

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

<input checked="" type="checkbox"/>	Yes	City Plan/Council Priority	Strategic Priorities: Effective Management: Update user fees.
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FISCAL IMPACT:

If rounds remain flat compared to FY16-17, it is expected that revenue from these revised rates would equal the FY 16-17 budgeted revenue (\$1,423,250.) However, it is expected that changing to one rate, with the elimination of the Go Play Card, will increase rounds from regional play in which case revenues will exceed FY16-17. The FY17-18 budget was adopted with total revenues equal to the FY16-17 year end estimates (\$1,423,250).

COMMITTEE RECOMMENDATION:

The Golf Advisory Committee voted to recommend these fees to City Council at their October 10, 2017 meeting by a vote of 4-0-1.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed golf fees to be effective January 1, 2018.

11/13/2017

Agenda Item No. E)

Presenter/Contact

*Stacey Dicke, Parks and Recreation Director
(830) 221-4350 - sdicke@nbtexas.org*

SUBJECT:

Presentation and action regarding a logo for the Das Rec, New Braunfels Recreation Center.

BACKGROUND / RATIONALE:

Staff has worked with our marketing consultant, AMMO Group to develop several possible logos for the new Recreation Center. This logo will help to create a brand and identity for the facility. At the time of this writing, work is still being finalized. Staff and our consultant will present several options for the Council's consideration on Monday.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

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FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

The Parks and Recreation Advisory Board has not been presented the logos due to the quick turnaround needed for implementation.

STAFF RECOMMENDATION:

If requested, staff will be happy to provide a recommendation at the meeting on Monday.



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. A)

Presenter/Contact

Patrick Aten, City Secretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Discuss and consider approval of the minutes of the special City Council meeting of October 16, 2017, and the regular City Council meeting of October 23, 2017.

**SPECIAL MINUTES
OF THE NEW BRAUNFELS CITY COUNCIL
SPECIAL MEETING OF MONDAY, OCTOBER 16, 2017**

The City Council of the City of New Braunfels, Texas, convened in a Special Meeting on October 16, 2017, at 5:30 p.m.

City Councilmembers present were:

Present 7 - Mayor Barron Casteel, Councilmember George Green, Councilmember Justin Meadows, Councilmember Ron Reaves, Councilmember Chris Monceballez, Mayor Pro Tem Wayne Peters, and Councilmember Leah García

City Staff present were: City Manager Robert Camareno, Assistant City Manager Kristi Aday, Assistant City Manager Bryan Woods, City Secretary Patrick Aten, Assistant City Secretary Drew Lyons, Public Works Director Greg Malatek, Planning and Community Development Director Chris Looney, Building Official TJ Grossi, Parks and Recreation Director Stacey Dicke, and Park Development Manager Ylida Capriccioso.

The meeting was called to order by Mayor Casteel in the New Braunfels City Hall Council Chambers at 5:34 p.m. Councilmember Monceballez gave the invocation and Mayor Casteel led the Pledge of Allegiance and the Salute to the Texas Flag.

1. WORKSHOP

A) Presentation and discussion regarding the development process.

Mayor Casteel read the aforementioned caption.

Bryan Woods, Chris Looney, TJ Grossi, and Greg Malatek presented the item.

Ricky Beach, Stephen Hanz, and Dustin Seidel spoke on the item.

City Council's discussion on the item included accountability, quality control, efficiency, and clarity.

No action was taken.

B) Presentation and possible direction to Staff regarding possible amendments to Chapter 118, Article V, Parkland.

Mayor Casteel read the aforementioned caption.

Stacey Dicke presented the item.

Ricky Beach, Mark Hampton, and Lee Edwards spoke on the item.

City Council's direction included examining density levels and proceeding with incremental changes.

No action was taken.

The meeting adjourned at 8:42 p.m.

Date Approved: November 13, 2017

Barron Casteel, Mayor

Attest:

Patrick Aten, City Secretary

**MINUTES
OF THE NEW BRAUNFELS CITY COUNCIL
REGULAR MEETING OF MONDAY, OCTOBER 23, 2017**

The City Council of the City of New Braunfels, Texas, convened in Regular Session on October 23, 2017, at 6:00 p.m.

City Councilmembers present were:

Present: 6 - Mayor Barron Casteel, Councilmember George Green, Councilmember Justin Meadows, Councilmember Chris Monceballez, Mayor Pro Tem Wayne Peters, and Councilmember Leah García

Absent: 1 - Councilmember Ron Reaves

City Staff present were: City Manager Robert Camreno, City Attorney Valeria Acevedo, Assistant City Manager Kristi Aday, Assistant City Manager Bryan Woods, City Secretary Patrick Aten, Assistant City Secretary Drew Lyons, Public Works Director Greg Malatek, Planning and Community Development Director Chris Looney, Senior Planner Holly Mullins, and City Engineer Garry Ford.

The meeting was called to order by Mayor Casteel in the New Braunfels City Hall Council Chambers at 6:04 p.m. Mayor Pro Tem Peters gave the invocation and Mayor Casteel led the Pledge of Allegiance and Salute to the Texas Flag.

PROCLAMATIONS:

Mayor Casteel proclaimed the week of October 22, 2017, as Family Promise Week.

Mayor Casteel proclaimed October 23 through October 31, 2017, as Red Ribbon Week.

Mayor Casteel recognized November 3 through November 12, 2017, as Wurstfest.

PRESENTATIONS:

A) Wurstfest

Wurstfest Association President Dan Krueger and Grosse Opa Rusty Brockman presented information regarding the 2017 Wurstfest.

B) Presentation and possible action regarding the FY 2018 Street Improvement Plan.

Mayor Casteel read the aforementioned caption.

Greg Malatek presented the item.

No action was taken.

- C) Presentation and possible direction to staff regarding the Alamo Area Metropolitan Planning Organization's Surface Transportation Program, Metropolitan Mobility call for projects for the FY 2019-2022 Transportation Improvement Program.

Mayor Casteel read the aforementioned caption.

Garry Ford presented the item.

Chris Willis spoke on the item.

No action was taken.

1. MINUTES

- A) Discuss and consider approval of the minutes of the regular City Council meeting of October 9, 2017.

Mayor Casteel read the aforementioned caption.

Councilmember Monceballez moved to approve the item. Councilmember Green seconded the motion which passed unanimously.

2. CITIZENS' COMMUNICATIONS

This time is for citizens to address the City Council on issues and items of concerns not on this agenda. There will be no City Council action at this time.

Mayor Casteel read the aforementioned caption.

Kristine Morales, Sherrie Barbee, Terri Downey, and Sara Ward talked about a possible convenience store/gas station near the corner of Klein Road and Legend Pond.

Wayne Rudolph spoke about the redevelopment of South Castell

Avenue.

3. CONSENT AGENDA

All items listed below are considered to be routine and non-controversial by the City Council and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the consent agenda and considered as part of the normal order of business.

Resolutions & Action Items

- A) Approval to authorize the City Manager to enter into an interlocal agreement between the City and Comal County for the use of a portion of the property located at 2940 South IH 35 to accommodate a construction staging area for the Comal County Jail construction project.
- B) Approval to authorize the City Manager to execute a contract with the Greater New Braunfels Chamber of Commerce for marketing and advertising services through the 2017-18 Marketing Program for the Sustainable Tourism and Environmental Stewardship Program for a contract expenditure of up to \$86,800.
- C) Approval of annual recurring expenditures for FY 2017-18 in accordance with City Charter Section 9.17.
- D) Approval to authorize the City Manager to execute a requested license agreement between Ronald B. Snider & Darrell Sollberger and the City of New Braunfels for sidewalk vault lights in the right-of-way adjacent to property addressed at 142 and 148 W. San Antonio Street.
- E) Approval of an annual contract with JR Ramon & Sons, Inc. for demolition services for City-designated structures on an as-needed basis.
- F) Approval of an Encroachment Agreement with Enterprise Texas Pipeline LLC for work within their utility easement adjacent to their natural gas transmission lines as required to accommodate the Alves Lane Improvements Project.
- G) Approval of acquisition funds for purchasing Right of Way from New Leaf Homes, LLC, Parcel 33-1 on the Klein Road Improvements Project.

- H) Approval of budget transfers in the FY 2016-17 General Fund and Golf Fund.
- I) Approval to renew and amend the Interlocal Agreement with the Alamo Area Council of Governments (AACOG) for demand response transit services, authorizing the City Manager to execute all contract documents associated with this agreement, and approval of an expenditure in the amount of \$395,854.

Ordinances

(In accordance with Section 3.10 of the City Charter, a descriptive caption of each ordinance shall be read on two separate days.)

- J) Approval of the first reading of an ordinance amending Chapter 126 of the Code of Ordinances by creating Section 126-356, prohibiting parking in spaces and areas located on private property, designated for exclusive use by vehicles that display proper placard or license plates and are used for transporting persons with disabilities, and authorizing towing enforcement.
- K) Approval of the second and final reading of an ordinance amending the City of New Braunfels Code of Ordinances, Chapter 122-Taxation, Article II-Hotel Occupancy Tax Sections 122-26 and 122-29 to eliminate quarterly filing and to change the payment remittance date to the 20th of the subsequent month; amending section 122-31 to clarify that penalties will be assessed if hotel occupancy tax has been delinquent for at least one complete municipal fiscal quarter.
- L) Approval of the second and final reading of an ordinance regarding proposed amendments to the Code of Ordinances, Chapter 144, Zoning, amending Section 5.10, Temporary Uses to include Special Events, amending Sec. 1.3 Definitions to include a definition, and deleting Sec. 5.23-18.
- M) Approval of the second and final reading of an ordinance regarding proposed amendments to the Code of Ordinances, Chapter 144, Zoning, regarding definitions, development/use standards and the zoning districts in which crematoriums may be allowed.
- O) Approval of the second and final reading of an ordinance regarding proposed amendments to the Code of Ordinances, Chapter 144, Zoning, amending: Section 2.2, Zoning Board of Adjustment (ZBA); Section 5.1, Parking, Loading, Stacking and Vehicular Circulation;

and, Section 7.1, Fee Schedule.

- P) Approval of the second and final reading of an ordinance regarding the proposed rezoning of approximately 6.44 acres, Lot 3, Richter Estates Subdivision, addressed at 2136 IH-35 North, from "APD" Agricultural/Pre-Development and "C-3" Commercial Districts to "C-1B" General Business District.
- Q) Approval of the second and final reading of an ordinance amending Section 126-354 of the City of New Braunfels Code of Ordinances to revise Parking by Permit Area I.
- R) Approval of the second and final reading of an ordinance amending Section 126-346 of the Code of Ordinances to restrict parking in the bike lane on Industrial Drive.

Mayor Casteel read the aforementioned captions from the Consent Agenda, except items N and S, which were pulled for further discussion.

Councilmember Green moved to approve the Consent Agenda, except items 3N and 3S. Councilmember Garcia seconded the motion which passed unanimously via roll call vote.

- N) Approval of the second and final reading of an ordinance regarding proposed amendments to the Code of Ordinances, Chapter 144, Zoning, Section 3.3-8, pertaining to the minimum rear setback in the "C-2" Central Business District.

Mayor Casteel read the aforementioned caption.

Chris Looney presented the item.

Mayor Pro Tem Peters moved to postpone the item so notifications could be sent out. Councilmember Garcia seconded the motion, which failed 1-5, with Mayor Pro Tem Peters voting in favor.

A motion was made by Councilmember Green, seconded by Councilmember Meadows, that this item be approved. The motion passed 5-1 via roll call vote:

In Favor:

Mayor Casteel, Councilmember Green, Councilmember Meadows, Councilmember Monceballez, and Councilmember García

Opposed:

Mayor Pro Tem Peters

- S) Approval of the second and final reading of an ordinance amending Section 126-346 of the Code of Ordinances to restrict parking in the bike lanes on a portion of Oak Run Parkway.

Mayor Casteel read the aforementioned caption.

Garry Ford presented the item.

A motion was made by Mayor Pro Tem Peters, seconded by Councilmember Meadows, that this item be approved. The motion passed 5-1 via roll call vote:

In Favor:

Mayor Casteel, Councilmember Green, Councilmember Meadows, Councilmember Monceballez, and Mayor Pro Tem Peters

Opposed:

Councilmember García

4. INDIVIDUAL ITEMS FOR CONSIDERATION

- A) Discuss and consider a sidewalk waiver to allow an alternate pedestrian access plan for the residential collector street for the proposed Chapel Creek Subdivision.

Mayor Casteel read the aforementioned caption.

Chris Looney presented the item.

Councilmember Meadows moved to approve the item. Councilmember Monceballez seconded the motion which passed unanimously.

- B) Discuss and consider the appointment of members to the Bond Advisory Committee, with possible revisions to the composition of the Bond Advisory Committee.

Mayor Casteel read the aforementioned caption.

Robert Camareno presented the item.

Mayor Pro Tem Peters moved to increase the size of the committee by two members to include a member of the Commissioners' Courts of Comal and Guadalupe Counties. Councilmember Meadows seconded the motion which passed unanimously.

Mayor Pro Tem Peters moved to appoint members to the Bond Advisory Committee. Councilmember Garcia seconded the motion which passed unanimously.

Membership of the committee at this time is:

Ray Still, Wes Studdard, Teresa Hendon, Garry Montgomery, Larry Hammonds, Jan Morton, Bob Gray, Brandon Dietert, Shane Hines, Amy Stone, Stuart Hansmann, Atanacio Campos, John Mathis, Cory Elrod, Stephen Hanz, and Dee Buck. More appointments will be made on November 13, 2017.

- C) Discuss and consider approval of a joint contract between the City of New Braunfels and New Braunfels Utilities with Capital Excavation for construction on Alves Lane.**

Mayor Casteel read the aforementioned caption.

Bryan Woods presented the item.

Mayor Pro Tem Peters moved to approve the item. Councilmember Garcia seconded the motion which passed unanimously.

- D) Discuss and consider approval of the second and final reading of an ordinance amending Section 126-186 of the City of New Braunfels Code of Ordinances to prohibit through truck traffic on Oakwood Boulevard.**

Mayor Casteel read the aforementioned caption.

Garry Ford presented the item.

A motion was made by Councilmember Monceballez, seconded by Councilmember Meadows, that this item be approved. The motion passed via rollcall vote:

In Favor:

Mayor Casteel, Councilmember Green, Councilmember Meadows, and Councilmember Monceballez

Opposed:

Mayor Pro Tem Peters, and Councilmember García

- E) Public hearing and consideration of the first reading of an ordinance regarding the proposed rezoning of 2.937 acres out of the Sarah Dewitt Survey, Abstract 103, Guadalupe County, Texas, located at the southwest intersection of Klein Road and Klein Meadows from "APD" Agricultural/Pre-Development District to "C-1A" Neighborhood Business District.

Mayor Casteel read the aforementioned caption.

Chris Looney presented the item.

Jerry Feagans, applicant, withdrew the application.

No action was taken.

- F) Public hearing and first reading of an ordinance rezoning approximately 12,501 square feet, Lot 7, Block 2, Pecan Valley Estates, Comal County, Texas, addressed at 1005 Mission Drive, to apply a Special Use Permit for the creation of two duplex lots in the "C-1" Local Business District.

Mayor Casteel read the aforementioned caption.

Chris Looney presented the item.

Joseph Redding spoke during the public hearing.

No motion was made. The item died due to lack of a motion.

- G) Discuss and consider an appeal of the Non-Residential and Multifamily Design Standards masonry and articulation requirements for a residential building currently under construction and proposed to be utilized for commercial use addressed at 210 W. Mill Street.

Mayor Casteel read the aforementioned caption.

Chris Looney presented the item.

Councilmember Garcia moved to approve the item. Councilmember Meadows seconded the motion which passed 5-1, with Councilmember Green voting opposed.

5. EXECUTIVE SESSIONS

In accordance with Texas Government Code, Subchapter D, the City Council may convene in a closed session to discuss any of the following items; any final action or vote taken will be in public.

- A) Deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of the City Manager in accordance with Section 551.074 of the Texas Government Code.
- B) Deliberate and consider the purchase of, exchange, lease or value of real property, in accordance with Section 551.072, of the Texas Government Code, including but not limited to:
 - acquisition of land for city facilities

Mayor Casteel read the aforementioned captions.

The City Council recessed into Executive Session from 8:52 p.m. - 10:07 p.m.

No vote or action was taken.

6. RECONVENE INTO OPEN SESSION AND TAKE ANY NECESSARY ACTION RELATING TO THE EXECUTIVE SESSION AS DESCRIBED ABOVE.

City Council reconvened into Open Session at 10:07 p.m.

No vote or action was taken.

This City Council meeting adjourned at 10:08 p.m.

Date Approved: November 13, 2017

Barron Casteel, Mayor

Attest:

Patrick Aten, City Secretary

11/13/2017

Agenda Item No. A)

Presenter/Contact

Patrick Aten, City Secretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Approval of the appointment of one individual to the Building Standards Commission for a term ending October 26, 2019.

BACKGROUND / RATIONALE:

The Building Standards Commission is comprised of seven members serving two year staggered terms. This vacancy was posted July 18 to September 14, 2017.

One qualified application was received for the at-large position:

- Jason Briggs

Applicant's current & prior service on Boards and Commissions

Jason Briggs has no previous board experience.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the appointment of one individual to the Building Standards Commission for a term ending October 26, 2019.

11/13/2017

Agenda Item No. B)

Presenter/Contact

Ethan Lindner, Fire Marshal
(830) 221-4200 - ELindner@nbtexas.org

SUBJECT:

Approval of an annual contract with ESO Solutions, Inc. for the provision of software for patient reporting services on behalf of the New Braunfels Fire Department, Emergency Medical Services program.

BACKGROUND / RATIONALE:

The City of New Braunfels' Fire Department (NBFD) currently operates six front line, and two reserve, ambulances with highly trained Emergency Medical Services (EMS) personnel who provide emergency medical care to the City's residents, visitors, and surrounding community. In support of the EMS program, the Fire Department utilizes various computer software programs which perform important functions such as fire incident reporting and the generation of EMS ambulance billing when applicable.

Currently, NBFD uses the software program, FireHouse, to generate reports of fire incidents which are then communicated to a software program utilized by the City's contractor, Advanced Data Processing, Inc. a subsidiary of Intermedix Corporation, for patient reporting as required by law. In addition to patient reporting, Intermedix also provides EMS ambulance billing, accounts receivables management, and collection services on behalf of the City.

Due to recent software revisions, the Firehouse and Intermedix software systems are no longer compatible with each other so the City's EMS personnel are now required to create duplicate patient care reports to ensure compliance with State and Federal laws. The additional administrative tasks required to generate accurate patient reports create a strain on the City EMS program as it reduces available EMS staff; thereby creating the potential for City ambulances to be unable to respond to emergency calls due to insufficient staffing.

Therefore, it is recommended that an annual contract be awarded to ESO Solutions, Inc. (ESO), for the use of 'ESO Health Data Exchange' which facilitates the bidirectional exchange of a patient's protected health information between hospitals and the City for accurate and streamlined patient care reports. The sole-source, customized software was recommended by Intermedix as it provides information to their data management system that is necessary for their continued-ambulance billing and collection services on behalf of the City.

The City is seeking to enter into a one-year contract with ESO for a base contract term of that will begin upon award by City Council through October 31, 2018. Additionally, the contract will allow for 1-year renewals with mutual consent between the City and the contractor.

ESO will provide the necessary software to implement the new patient care reporting system for a cost of \$34,266 for FY 2017-18. The anticipated cost in FY 2018-19 is \$39,000 due to the addition of two modules to the system. Effective beginning in Year 3 of the contract, software fees will increase by 3% each year that the contract is in effect.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

Yes	Strategic Priorities 4:	Continue to ensure the protection of citizen's lives and property.
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FISCAL IMPACT:

As the City's current contractor was previously providing the referenced patient reporting service, funding for the contract described above has been incorporated into the adopted FY 2017-18 budgets so there are sufficient funds are available for the referenced annual contract.

Additionally, Intermedix has reduced their billing rate for the City based upon the discontinuation of their patient care reporting services and the subsequent cost savings exceed the cost of the new contract. Therefore, there will ultimately be a positive fiscal impact with the award of a new contract with ESO.

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of an annual contract with ESO Solutions, Inc. for the provision of software for patient reporting services on behalf of the New Braunfels Fire Department, Emergency Medical Services program.

11/13/2017

Agenda Item No. C)

Presenter/Contact*Jennifer Gates, Buyer**(830) 221-4383 - JGates@nbtexas.org***SUBJECT:**

Approval of the renewal of annual contracts for the following services: administrative support for Community Development Block Grants, ambulance billing and related professional services, fleet fuel services, and litter and floating vegetation removal services.

BACKGROUND / RATIONALE:

On November 14, 2016, the City Council provided consent for a quarterly review and approval of renewals for various annual contracts that occur throughout the course of a fiscal year which are routine in nature and in accordance with the terms and conditions of the associated awarded contracts (which were originally approved by City Council). Quarterly approvals manage staff resources more efficiently as well as ensure compliance with the contracts' terms and conditions. Contract renewals that have any requested modifications, such as a significant increase or decrease in services or costs, will continue to be presented to City Council for individual consideration.

The City Council has previously reviewed and approved the following annual contracts for various goods and services utilized for City operations; the contracts described below require Council authorization for contract renewal. All goods and services have been competitively vetted and contracts have subsequently been executed on various dates in previous years. All awarded contractors have provided satisfactory performance during the term of their associated contract.

Renewal of Annual Contract for Administrative Support for Community Development Block Grants:

- Goods/Services Provided: provision of administrative and grant management services for the Community Development Block Grant (CDBG) program.
- City Department: Finance, CDBG division
- Solicitation Method: Request for Proposal
- Contract Award Date: June 27, 2016
- Awarded Contractor(s): Paula Harper d/b/a Community Solutions
- Contract Expiration Date: October 31, 2018; no renewal options remaining
- Annual Cost of Services During Renewal Period: \$55,609; no price increase from previous contract term.

Renewal of Annual Contract for Right-of-Way Consulting Services:

- Goods/Services Provided: right-of-way (ROW) services include ROW administration, title and closing services, appraisals, relocation assistance, and land planning.
- City Department: Citywide

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- Solicitation Method: Request for Qualifications
 - Contract Award Date: October 28, 2013
 - Awarded Contractor(s): Alterra Design Group; Contract Land Staff, LLC; HDR Engineering, Inc.; JLL Valuation & Advisory Services, LLC (formerly Integra Realty Resources - Austin); Lockwood Andrews & Newnam, Inc.; Menn & Associates; and Paul Hornsby & Company, Inc.
 - Contract Expiration Date: October 31, 2018; no renewal options remaining
 - Annual Cost of Services During Renewal Period: ROW services occur on an as-needed basis; therefore the cost is incorporated into the appropriate capital project or departmental budgets. Any specific scope of service that exceeds \$25,000 will be presented to Council for approval. In FY 2016-17, the City spent less than \$25,000 the referenced contracts for right-of-way consulting services.

Renewal of Annual Contract for Ambulance Billing and Related Professional Services:

- Goods/Services Provided: Ambulance billing, accounts receivables management, and collection services.
- City Department: Fire Department
- Solicitation Method: Request for Proposal
- Contract Award Date: December 1, 2013
- Awarded Contractor: Advanced Data Processing, Inc. a subsidiary of Intermedix Corporation
- Contract Expiration Date: December 1, 2018; with additional renewal options remaining
- Annual Cost of Services During Renewal Period: Awarded contractor has agreed to renew the contract with a reduced compensation rate of 5.5% from a previous rate of 7.95%. The City has received an average of 1.78 million per year since 2013.

Renewal of Annual Contract for Fleet Fuel Services:

- Goods/Services Provided: Fleet fuel services that allow the City to purchase fuel at Contractor's negotiated prices; Contractor also provides fleet fuel management system for reporting purposes.
- City Department: Citywide
- Solicitation Method: Request for Proposal
- Contract Award Date: December 9, 2013
- Awarded Contractor: FleetCor Technologies Operating Company
- Contract Expiration Date: December 31, 2018; with no renewal options remaining
- Annual Cost of Services During Renewal Period: Awarded contractor has agreed to renew the contract with no price increase. In FY 2017, the City spent approximately \$815,000 for fleet fuel services.

Renewal of Annual Contract for Litter and Floating Vegetation Removal Services:

- Goods/Services Provided: performance of litter and floating vegetation removal services from above and below the water surface in riparian zones.
- City Department: Parks and Recreation Department, River Operations division
- Solicitation Method: Competitive Sealed Proposal
- Contract Award Date: January 23, 2017
- Awarded Contractors: Pristine Texas Rivers, Inc.

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- Modified Contract Expiration Date: December 31, 2018; with 3, 1-year renewal options remaining.
 - Annual Cost of Services During Renewal Period: Not to Exceed \$166,943; no price increase from previous contract term.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

Yes	Strategic Priorities:	9. Maintain fiscal stability of City operations
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FISCAL IMPACT:

Funding for all expenditures above was incorporated into the appropriate FY 2017-18 departmental budgets. Therefore, sufficient funds are available to renew the contracts as described above.

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the renewal of annual contracts for the following services: administrative support for Community Development Block Grants, ambulance billing and related professional services, fleet fuel services, and litter and floating vegetation removal services.

11/13/2017

Agenda Item No. D)

Presenter/Contact*Michael Mundell, Solid Waste Manager
(830) 221-4040 - mmundell@nbtexas.org***SUBJECT:**

Approval of the purchase of a front load garbage collection vehicle from Chastang's Bayou City Autocar and BTE Body Company Inc., through the BuyBoard and HGAC contracts.

BACKGROUND / RATIONALE:

The Solid Waste heavy equipment was added to the City's vehicle replacement program and fund in FY 2009-10 and since that time Solid Waste has made annual contributions for the replacement of garbage collection vehicles. The addition of the equipment to the program has allowed Solid Waste to improve the quality and predictability of the trash and recycling collection service. In FY 2017-18 the purchase of one new front load collection truck has been recommended. The addition of this vehicle will allow the commercial line of business to align the workload for this division with industry standards by adding an additional collection route. The funding for the vehicle will come from the Enterprise Maintenance and Equipment Replacement Fund.

Pricing was requested through the BuyBoard and HGAC contracts with BTE Body Company Inc. and Chastang's Bayou City Autocar. The cost for the equipment is listed below.

Equipment Type	Vendor	Cost	Qty.	Total Cost
Front load Chassis	Chastang's Bayou City Autocar	\$159,038	1	\$159,038
Front load Body	BTE Body Company Inc.	\$116,651.84	1	\$116,651.84
Total				\$275,689.84

The total amount for this vehicle purchase including BuyBoard and HGAC fees is \$275,689.84

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

<input checked="" type="checkbox"/>	Yes	City Plan/Council Priority:	Strategic Priorities: 2 - Continue an ongoing program of infrastructure construction and maintenance
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FISCAL IMPACT:

The FY 2017-18 Adopted Budget included the addition of the new vehicle purchase. The purchase of the new front load collection vehicle will be a onetime expense of \$275,689.84 using the Enterprise Maintenance and Equipment Replacement Fund.

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the purchase of one new front load garbage collection vehicle from Chastang's Bayou City Autocar and BTE Body Company Inc., through the BuyBoard and HGAC contracts.

11/13/2017

Agenda Item No. E)

Presenter/Contact*Jennifer Gates, Buyer**(830) 221-4383 - JGates@nbtexas.org***SUBJECT:**

Approval of the purchase of vehicles from Bluebonnet Motors, Inc., Griffith Ford Seguin, LLC, and Caldwell County Chevrolet; and to declare replaced units as surplus.

BACKGROUND / RATIONALE:

As the result of a solicitation released in December 2016, City Council awarded an annual contract on February 13, 2017 to Bluebonnet Motors, Inc. to be the City's primary contractor for the purchase of Dodge and Ford vehicles due to their competitive pricing for both manufacturers. City Council also awarded an annual contract to Griffith Ford Seguin, LLC as the secondary contractor for Ford vehicles. As the contract is non-exclusive, City personnel may also continue to purchase vehicles from cooperative contracts that have been competitively-vetted such as BuyBoard, TXMAS, and HGAC on an as-needed basis. Vehicles are purchased on an as-needed basis and include, but are not limited to, Police vehicles, passenger vehicles, vans, pickups and specialty trucks.

Staff is requesting approval to purchase a total of 28 vehicles - a combination of replacement vehicles that are being retired from service, and new vehicles for departmental use to support several positions that have been added to the organization. In addition, staff recommends declaring the replaced vehicles surplus which allows for the future sale of the vehicles.

Many of these vehicles require ancillary equipment prior to being operated in the field. As an example, all Police pursuit vehicles will require radars, cameras, light bars among other equipment. The purchase/cost of this equipment is not included in the figures below; the costs will be presented to Council as a separate agenda item.

Department	Equipment Type	Vendor	Price	Qty	Extended Price
Fire	Ford F-150	Bluebonnet Motors	\$ 29,260	5	\$ 146,300
Parks	Ford Escape	Bluebonnet Motors	\$ 19,435	2	\$ 38,870
Parks	Ford F-150	Bluebonnet Motors	\$ 28,061	1	\$ 28,061
Parks	Ford F-250	Bluebonnet Motors	\$ 26,320	1	\$ 26,320
Planning	Ford Escape	Griffith Ford Seguin	\$ 19,436	1	\$ 19,436
Police	Chevrolet Tahoe	Caldwell Chevrolet	\$ 33,144	1	\$ 33,144
Police	Dodge Caravan	Bluebonnet Motors	\$ 23,500	1	\$ 23,500
Police	Ford F-150	Bluebonnet Motors	\$ 27,291	1	\$ 27,291
Police	Ford Explorer	Bluebonnet Motors	\$ 28,576	10	\$ 285,760

Police	Ford Taurus	Bluebonnet Motors	\$ 22,624	1	\$ 22,624
Police	Ford Transit Connect XL	Bluebonnet Motors	\$ 22,125	1	\$ 22,125
Public Works	Ford F-450 Flatbed Truck	Bluebonnet Motors	\$ 39,584	1	\$ 39,584
Public Works	Ford F-450 Utility Bed	Bluebonnet Motors	\$ 42,837	2	\$ 85,674
Total Price for Purchase of Above-Referenced Vehicles					\$ 798,689

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

<input checked="" type="checkbox"/>	Yes	Strategic Priorities 9:	Maintain fiscal stability of City operations.
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FISCAL IMPACT:

Of the 28 vehicles, 21 vehicles are replacements. Therefore, the majority of the funding is allocated in the Equipment Replacement Fund. The new vehicles are coming from two funding sources; the General Fund (one Planning and five Police vehicles), and the 2013 and 2015 Tax Notes Capital Funds (one Public Works vehicle). Therefore, sufficient funds are available to purchase the vehicles.

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the purchases of 26 vehicles from Bluebonnet Motors, Inc., one vehicle from Griffith Ford Seguin, and one vehicle from Caldwell County Chevrolet. Additionally, Staff recommends that all replacement vehicles be declared surplus for future sale.

11/13/2017

Agenda Item No. F)

Presenter/Contact
Jennifer Gates, Buyer
(830) 221-4383 - JGates@nbtexas.org

SUBJECT:

Approval of the purchase and installation of equipment for Police vehicles from GT Distributors, Inc., Applied Concepts, Inc. d/b/a Stalker Radar, Enforcement Video, LLC (WatchGuard), and the Lower Colorado River Authority via multiple cooperative contracts.

BACKGROUND / RATIONALE:

The City will be buying several vehicles for the Police Department, including 11 Police Pursuit vehicles and four (4) vehicles to be utilized by the Criminal Investigation Division (CID). Of the 11 Police Pursuit vehicles, ten (10) are replacements and one (1) is an addition to the fleet and will be assigned to one of the new Officers authorized in the FY 2016-17 adopted budget. The vehicles all require the purchase and installation of additional equipment including, but not limited to, radar systems, cages, consoles, and light bars prior to being placed into service. Additionally, one of the new Police Pursuit vehicles will require the purchase and installation of a body-worn, in-car camera system that is now standard equipment in Police Pursuit vehicles. The table below provides additional details regarding the expenditures.

Equipment Type	Vendor	Unit Cost	Qty	Total Cost
Vehicle Accessories	GT Distributors, Inc.	\$7,129	14	\$ 99,806
Installation Services	LCRA	\$2,607	14	\$ 36,498
Radar Systems	Stalker Radar	\$2,285	11	\$ 25,135
Body/In-Car Camera System	WatchGuard	\$7,345	1	\$ 7,345
Total				\$ 168,784

The above-stated equipment will be purchased utilizing various cooperative contracts that offer the best value for the goods and services based upon review by City staff. GT Distributors, Inc. is providing the vehicle accessories, such as light bars, cages, consoles, and bumpers, via a Buyboard contract. The City is utilizing two Houston-Galveston Area Council (H-GAC) contracts; one contract to purchase radar systems from Applied Concepts, Inc. (d/b/a Stalker Radar), and the other to purchase a body-worn, in-car camera system from Enforcement Video, LLC (WatchGuard). A cooperative contract with the Lower Colorado River Authority (LCRA) will provide the removal of old equipment and installation of new equipment into the vehicles.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

Yes	Strategic Priorities 4:	Continue to ensure the protection of citizen's lives and property.
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FISCAL IMPACT:

The majority of the equipment is being placed into vehicles that are replacements for the City's fleet so the Equipment Replacement Fund will provide the necessary funds for the pending purchases. The equipment for the new Police vehicles will be paid from the General Fund. Therefore, sufficient funds are available to purchase all above-referenced equipment.

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the purchase and installation of equipment for Police vehicles from GT Distributors, Inc., Applied Concepts, Inc. d/b/a Stalker Radar, Enforcement Video, LLC (WatchGuard), and the Lower Colorado River Authority (LCRA) via multiple cooperative contracts.

11/13/2017

Agenda Item No. G)

Presenter/Contact

Bryan Woods, Assistant City Manager
(830) 221-4022 - bwoods@nbtexas.org

SUBJECT:

Approval of an annual expenditure to Procore Technologies, Inc for Enterprise Construction software subscription FY 2017-18.

BACKGROUND / RATIONALE:

The City entered into a contract with Procore Technologies, Inc. in 2016 for an enterprise construction management software subscription to support its many construction projects. The software will assist with workflow management, report generation, scheduling, change order and submittal management as well as many other tasks.

The subscription is a year to year commitment and the cost is determined by the annual cost of the projects it will be supporting. This purchase was competitively vetted with quotes. The cost of the subscription for year two is \$28,800 and requires City Council approval per section 9.17 of the City Charter, City Council approval is for annual purchases that exceed \$25,000. Staff recommends that this expenditure be approved.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

<input checked="" type="checkbox"/>	Yes	City Plan/Council Priority:	Strategic Priorities: 9. Maintain fiscal stability of City operations
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FISCAL IMPACT:

Funding for the construction management software subscription is distributed and incorporated into the FY 2017-18 Capital Programs departmental budget, (\$15,000) and bond funds supporting the remaining balance from Propositions 1, 2, 3, (\$4600 to each proposition).

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of an annual expenditure to Procore Technologies, Inc for enterprise construction software subscription FY 2017-18.

11/13/2017

Agenda Item No. H)

Presenter/Contact

*Greg Malatek, Director of Public Works
(830) 221-4020 - gmalatek@nbtexas.org*

SUBJECT:

Approval of the FY 2018 Street Improvement Plan.

BACKGROUND / RATIONALE:

The FY 2018 Street Improvement Plan was presented to City Council on October 23, 2017. The street maintenance program is budgeted through the City of New Braunfels' General Fund.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

Yes. Allocated program from the FY 2018 City Council approved budget.

FISCAL IMPACT:

\$1.8 million

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the FY 2018 Street Improvement Plan.



Street Improvement Plan Fiscal Year 2018

City Council Meeting
October 23, 2017

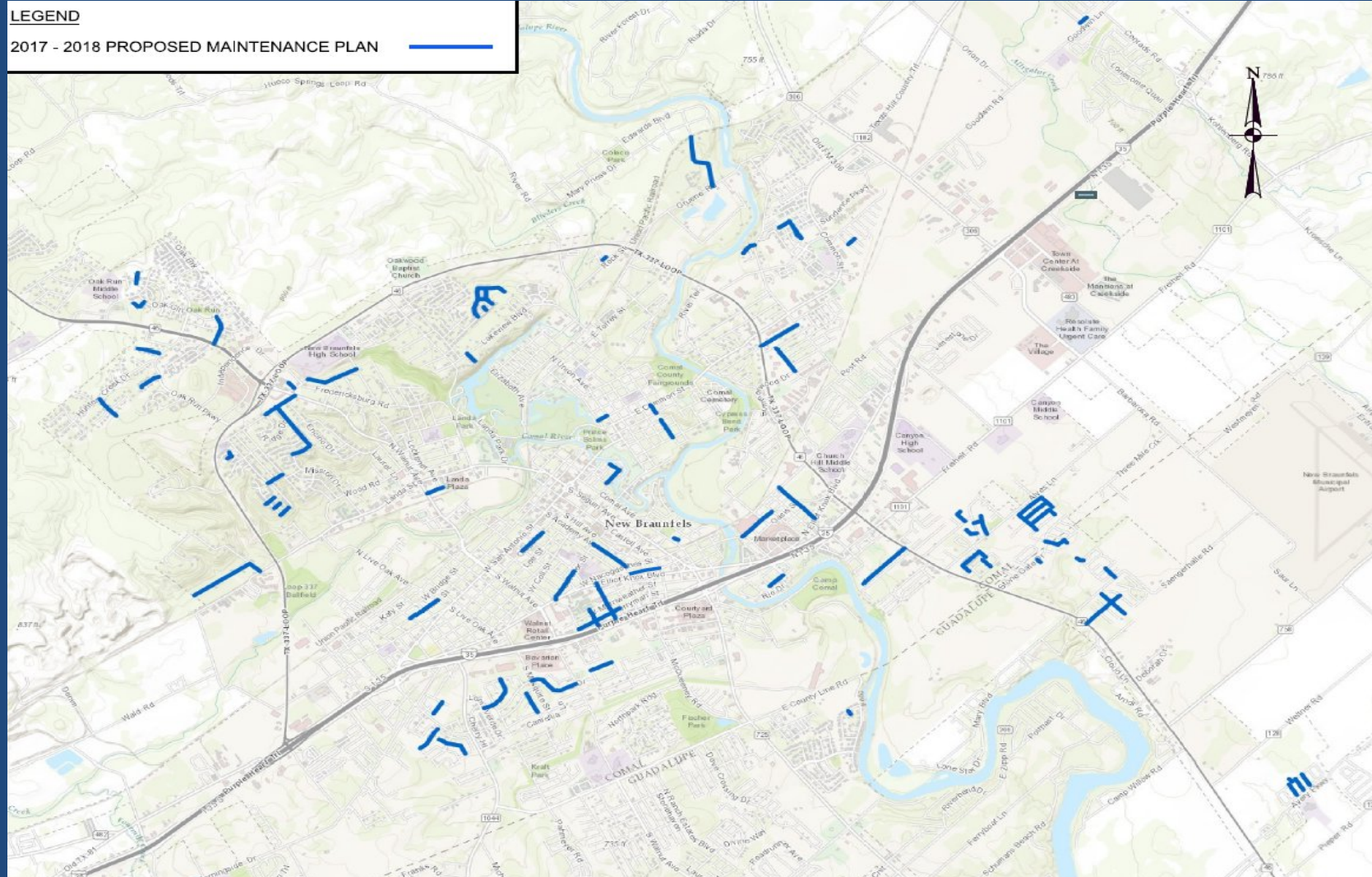
Street Improvement Funding

1. \$1.8 million in FY 2017 General Fund Budget - for Yearly Street Maintenance projects covering 347 centerline miles.
 - To maintain and improve neighborhood streets utilizing the prioritization factors
 - To address potholes, utility cut repairs and other maintenance and repairs
2. \$10 million over 5 yrs from the 2013 Bond Program for City-wide street projects
 - For work on larger arterial and collector streets
3. \$39 million in major bond projects approved by voters
 - Morningside Drive, Rueckle Road, Solms Road and Klein Road

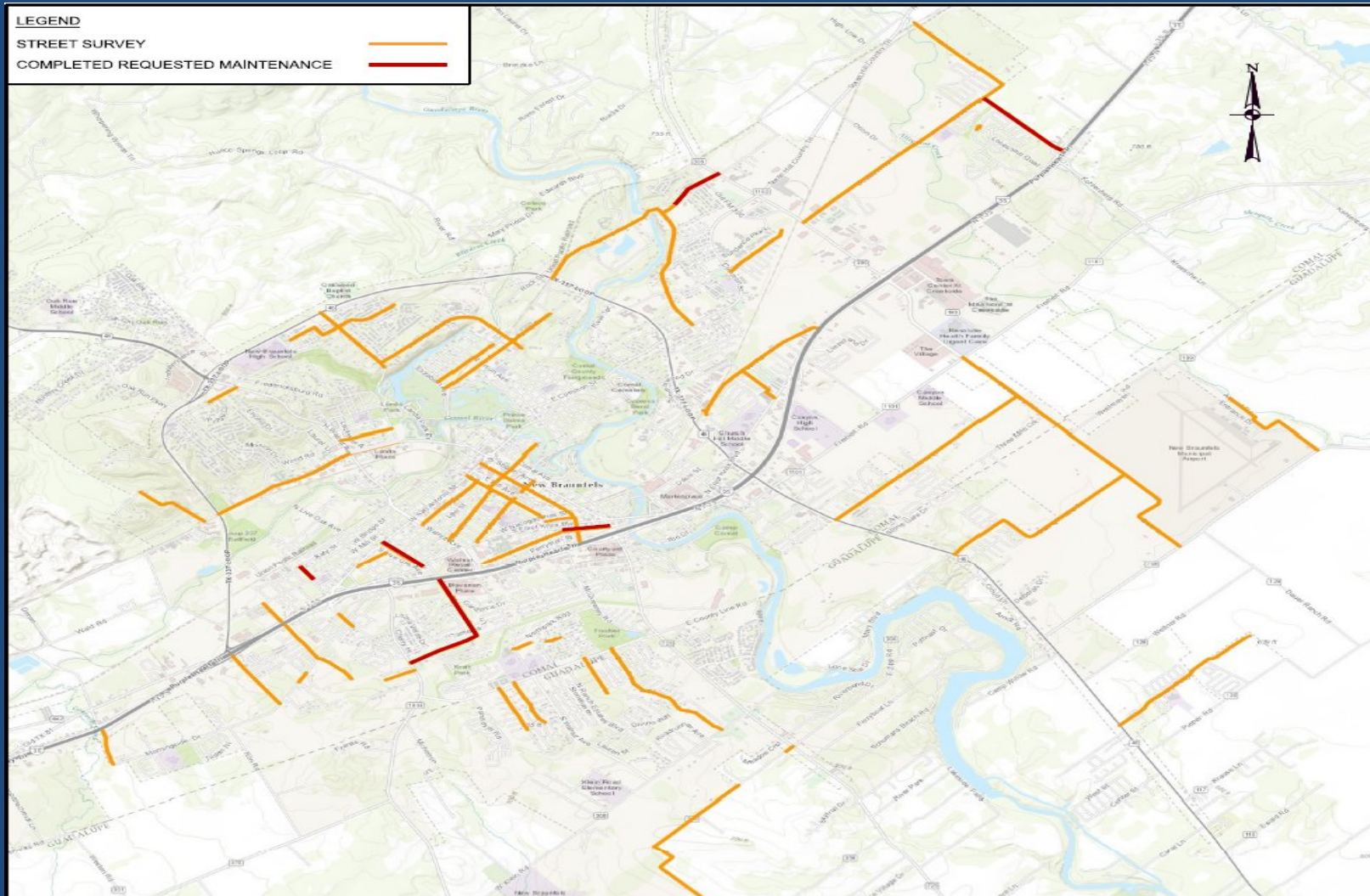
Public Input

- Public Meeting held on May 4th.
- Online Survey from May 4th- May 13th

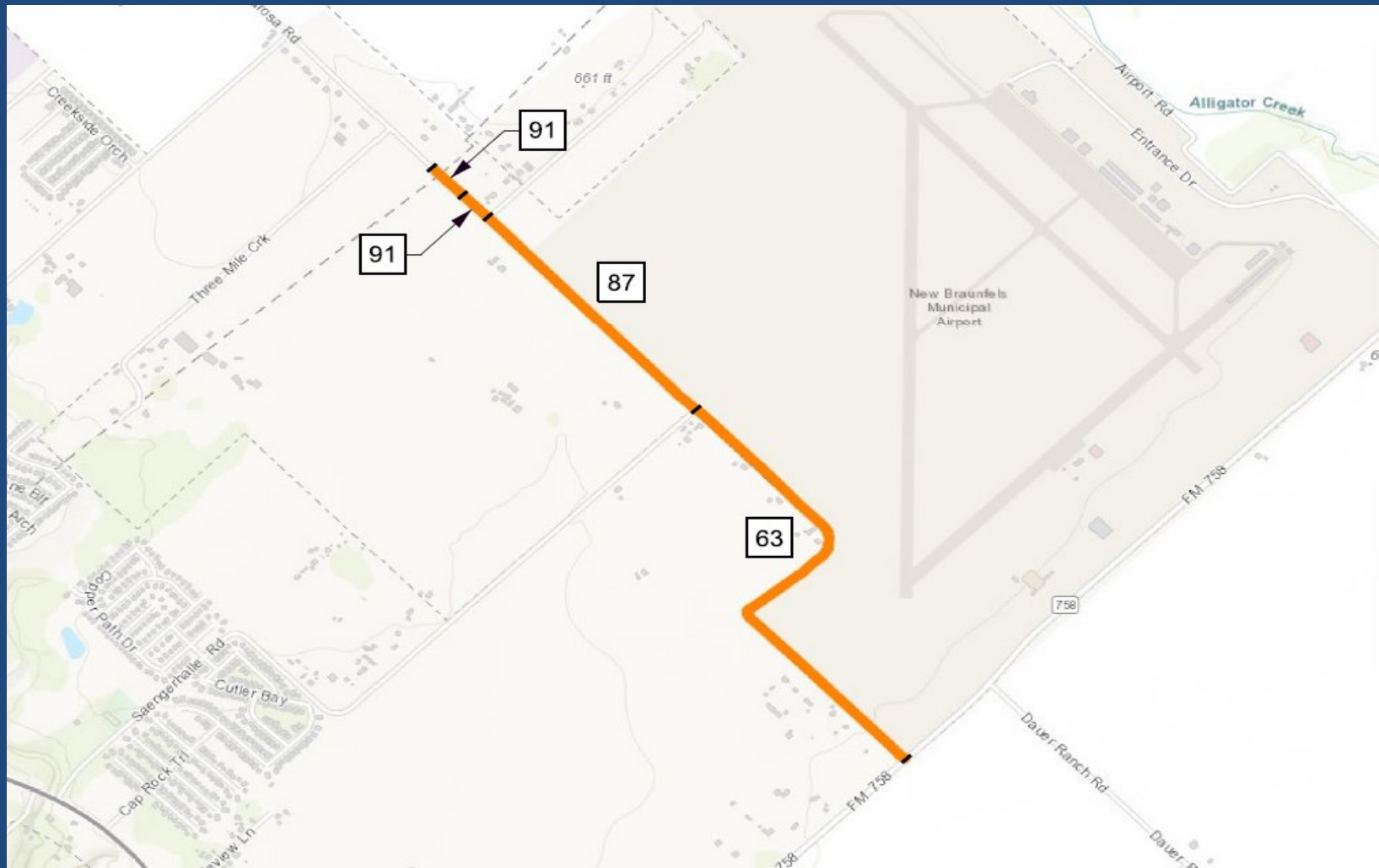
Plan Presented To Public



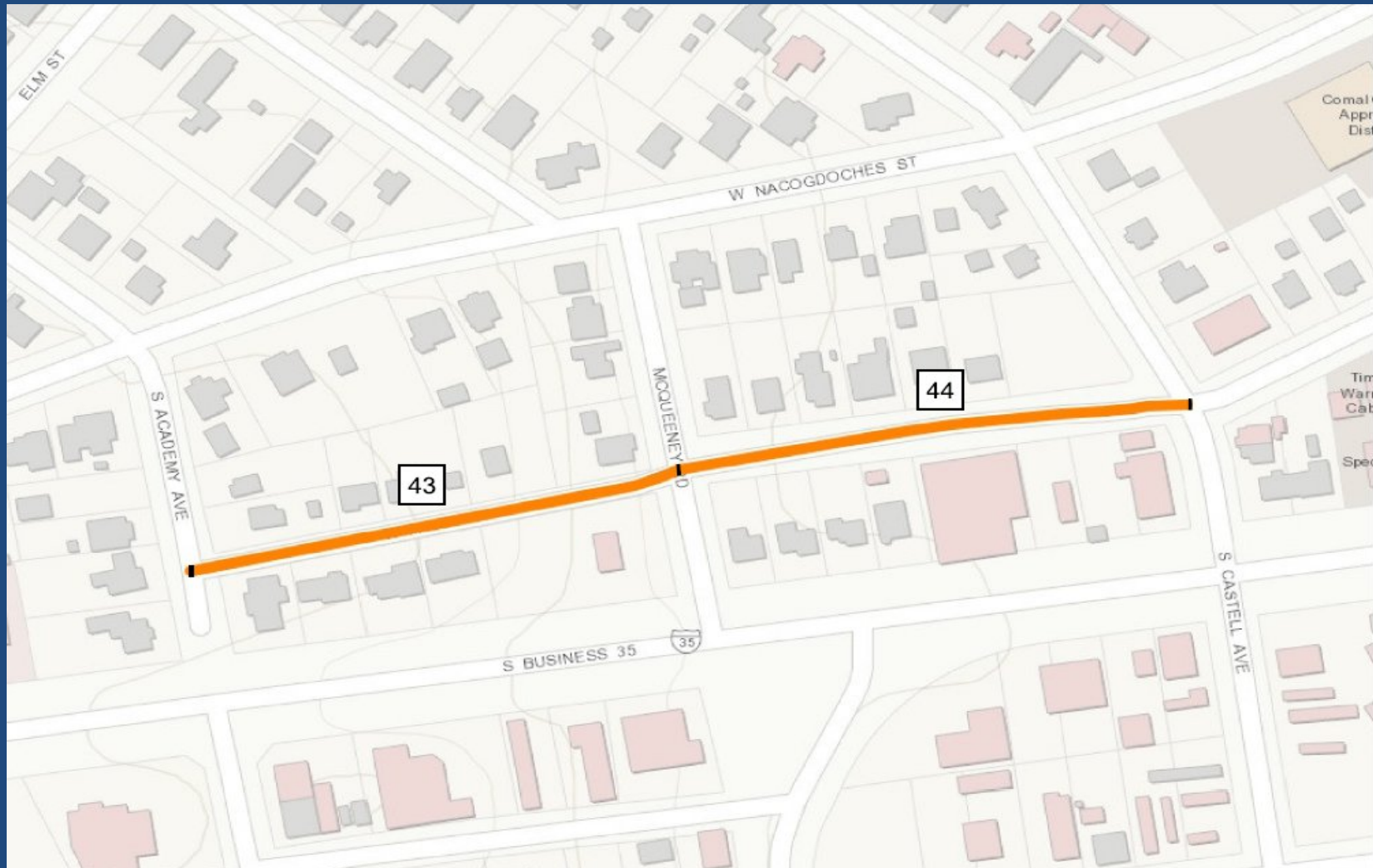
Public Input Map



Saur Lane



Faust Street



2018 Street Improvement Plan

2018 Street Maintenance Plan												
Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Mill and Overlay												
2018	Mission Dr	Kerlick Ln	Mission Trace	Local	Mill & Overlay (2")	3	44	1,914	36	7,656	\$ 15.00	\$ 114,840
2018	Kerlick Ln	Ridge Dr.	N Walnut Ave.	Minor Collector	Mill & Overlay (2")	3	38	1,285	37	5,283	\$ 15.00	\$ 79,242
2018	River Acres Dr.	LP 337	Gruene Rd.	Local	Mill & Overlay (2")	4	29	1,511	30	5,037	\$ 15.00	\$ 75,550
2018	Lipan Dr	Alves Ln	Terminus	Local	Mill & Overlay (2")	5	58	786	33	2,882	\$ 15.00	\$ 43,230
2018	Ridgewood Ave.	Church Hill Dr.	Oasis St.	Local	Mill & Overlay (2")	5	17	827	33	3,032	\$ 15.00	\$ 45,485
2018	Misty Acres Dr.	Terminus	SH 46	Local	Mill & Overlay (2")	5	74	2,032	39	8,805	\$ 15.00	\$ 132,080
2018	Cross St.	S. Santa Clara Ave.	Clemens Ave.	Local	Mill & Overlay (2")	6	30	991	40	4,404	\$ 15.00	\$ 66,067
2018	Unicorn Ave.	BS 35	IH 35 SFR	Local	Mill & Overlay (2")	6	35	1,558	34	5,886	\$ 22.00	\$ 129,487
2018	Perryman St	Huisache Ave.	Fern Ave.	Local	Mill & Overlay (2")	6	27	1,621	36	6,484	\$ 15.00	\$ 97,260
2018	Gardenia	Mesquite	Walnut Ave.	Minor Collector	Mill & Overlay (2")	6	34	1,770	40	7,867	\$ 15.00	\$ 118,000
2018	S. Academy Ave.	Butcher St.	W. Nacogdoches St.	Local	Mill & Overlay (2")	6	37	1,450	38	6,122	\$ 15.00	\$ 91,833
Subtotal - Mill and Overlay								15,745	LF	63,458		\$ 993,074
								2.982	Miles			
Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Limited Overlay - Contract Services / City Forces												
2018	Rothe Loop	N. Walnut Ave.	Terminus	Local	Limited Overlay	1	36	630	30	2,100	\$ 8.50	\$ 17,850
2018	Valley View Ln	Mission Hills Dr	Twin Oaks Dr	Local	Limited Overlay	3	59	605	28	1,882	\$ 8.50	\$ 15,999
2018	Buttercup Ln	Summerwood Dr	Azalea Ln	Local	Limited Overlay	4	50	1,164	26	3,363	\$ 8.50	\$ 28,583
2018	Wichita Dr	Hueco Dr	Lipan Dr	Local	Limited Overlay	5	20	292	30	973	\$ 8.50	\$ 8,273
2018	Pueblo Circle	Terminus	Caddell Ln	Local	Limited Overlay	5	55	548	30	1,827	\$ 8.50	\$ 15,527
2018	Tonkawa Circle	Terminus	Hueco Dr.	Local	Limited Overlay	5	32	454	26	1,312	\$ 8.50	\$ 11,148
2018	Granada	Seville Dr.	Barcelona Dr.	Local	Limited Overlay	5	21	621	30	2,070	\$ 8.50	\$ 17,595
2018	Porter St.	Wright	Terminus	Local	Limited Overlay	5	55	950	36	3,800	\$ 8.50	\$ 32,300
2018	Ridgewood Ave.	Oasis St.	BS 35	Local	Limited Overlay	5	67	940	33	3,447	\$ 8.50	\$ 29,297
2018	S. Veramendi	E. Dittlinger St.	E. Mather St.	Local	L.O.S. w/Level-up	5	28	805	26	2,326	\$ 8.50	\$ 19,767
2018	Oleander	Marigold Dr.	Heather Ln	Local	Limited Overlay	6	37	864	40	3,840	\$ 8.50	\$ 32,640
2018	Larkspur Dr.	Hollyhock Ln	Loma Verde Ln	Local	Limited Overlay	6	27	342	32	1,216	\$ 8.50	\$ 10,336
2018	Larkspur Dr.	Hollyhock Ln	Narcissus Dr.	Local	Limited Overlay	6	63	1,201	32	4,270	\$ 8.50	\$ 36,297
2018	Sundance St.	Lazy Trail	Sunrise	Local	Limited Overlay	6	44	794	38	3,352	\$ 8.50	\$ 28,496
2018	Butcher	BS 35	Guenther Ave.	Local	Limited Overlay	6	20	1,325	29	4,269	\$ 8.50	\$ 36,290
Subtotal - Limited Overlay - Contract Services / City Forces								11,535	LF	40,047		\$ 340,398
								2.185	Miles			

Maintenance & Repair Strategies

Repairs

- Potholes & Utility Cut

- Blade Level Up - Application of hot mix asphalt (HMA) to smooth roadway and remove rutting

Preventative Maintenance

- Crack Seal – application of a sealant to prevent intrusion of water

- Limited overlay – a 1" HMA overlay on a seal coat

Rehabilitation

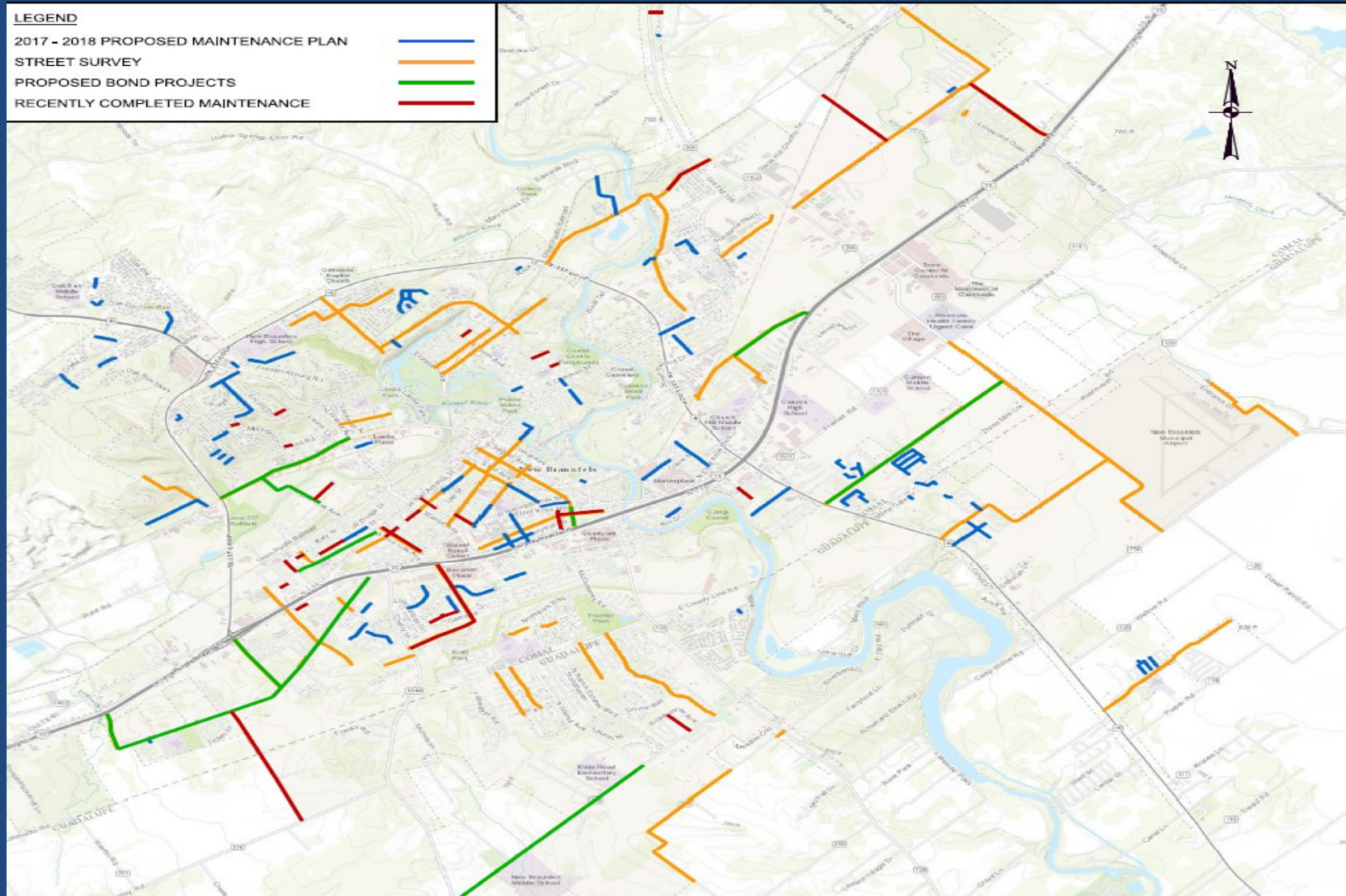
- Mill and overlay - spot base repair, mill existing asphalt to level surface and asphalt overlay

Reconstruction

- Requires curb work, subgrade improvements, grade modification, new base, and asphalt surface



General Fund Street Projects Proposed 2018



Questions?

2018 Street Maintenance Plan

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Mill and Overlay												
2018	Mission Dr	Kerlick Ln	Mission Trace	Local	Mill & Overlay (2")	3	44	1,914	36	7,656	\$ 15.00	\$ 114,840
2018	Kerlick Ln	Ridge Dr.	N Walnut Ave.	Minor Collector	Mill & Overlay (2")	3	38	1,285	37	5,283	\$ 15.00	\$ 79,242
2018	River Acres Dr.	LP 337	Gruene Rd.	Local	Mill & Overlay (2")	4	29	1,511	30	5,037	\$ 15.00	\$ 75,550
2018	Lipan Dr	Alves Ln	Terminus	Local	Mill & Overlay (2")	5	58	786	33	2,882	\$ 15.00	\$ 43,230
2018	Ridgewood Ave.	Church Hill Dr.	Oasis St.	Local	Mill & Overlay (2")	5	17	827	33	3,032	\$ 15.00	\$ 45,485
2018	Misty Acres Dr.	Terminus	SH 46	Local	Mill & Overlay (2")	5	74	2,032	39	8,805	\$ 15.00	\$ 132,080
2018	Cross St.	S. Santa Clara Ave.	Clemens Ave.	Local	Mill & Overlay (2")	6	30	991	40	4,404	\$ 15.00	\$ 66,067
2018	Unicorn Ave.	BS 35	IH 35 SFR	Local	Mill & Overlay (2")	6	35	1,558	34	5,886	\$ 22.00	\$ 129,487
2018	Perryman St	Huisache Ave.	Fern Ave.	Local	Mill & Overlay (2")	6	27	1,621	36	6,484	\$ 15.00	\$ 97,260
2018	Gardenia	Mesquite	Walnut Ave.	Minor Collector	Mill & Overlay (2")	6	34	1,770	40	7,867	\$ 15.00	\$ 118,000
2018	S. Academy Ave.	Butcher St.	W. Nacogdoches St.	Local	Mill & Overlay (2")	6	37	1,450	38	6,122	\$ 15.00	\$ 91,833

Subtotal - Mill and Overlay

15,745 LF 63,458 \$ 993,074

2.982 Miles

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									

Limited Overlay - Contract Services / City Forces

2018	Rothe Loop	N. Walnut Ave.	Terminus	Local	Limited Overlay	1	36	630	30	2,100	\$ 8.50	\$ 17,850
2018	Valley View Ln	Mission Hills Dr	Twin Oaks Dr	Local	Limited Overlay	3	59	605	28	1,882	\$ 8.50	\$ 15,999
2018	Buttercup Ln	Summerwood Dr	Azalea Ln	Local	Limited Overlay	4	50	1,164	26	3,363	\$ 8.50	\$ 28,583
2018	Wichita Dr	Hueco Dr	Lipan Dr	Local	Limited Overlay	5	20	292	30	973	\$ 8.50	\$ 8,273
2018	Pueblo Circle	Terminus	Caddell Ln	Local	Limited Overlay	5	55	548	30	1,827	\$ 8.50	\$ 15,527
2018	Tonkawa Circle	Terminus	Hueco Dr.	Local	Limited Overlay	5	32	454	26	1,312	\$ 8.50	\$ 11,148
2018	Granada	Seville Dr.	Barcelona Dr.	Local	Limited Overlay	5	21	621	30	2,070	\$ 8.50	\$ 17,595
2018	Porter St.	Wright	Terminus	Local	Limited Overlay	5	55	950	36	3,800	\$ 8.50	\$ 32,300
2018	Ridgewood Ave.	Oasis St.	BS 35	Local	Limited Overlay	5	67	940	33	3,447	\$ 8.50	\$ 29,297
2018	S. Veramendi	E. Dittlinger St.	E. Mather St.	Local	L.O.S. w/Level-up	5	28	805	26	2,326	\$ 8.50	\$ 19,767
2018	Oleander	Marigold Dr.	Heather Ln	Local	Limited Overlay	6	37	864	40	3,840	\$ 8.50	\$ 32,640
2018	Larkspur Dr.	Hollyhock Ln	Loma Verde Ln	Local	Limited Overlay	6	27	342	32	1,216	\$ 8.50	\$ 10,336
2018	Larkspur Dr.	Hollyhock Ln	Narcissus Dr.	Local	Limited Overlay	6	63	1,201	32	4,270	\$ 8.50	\$ 36,297
2018	Sundance St.	Lazy Trail	Sunrise	Local	Limited Overlay	6	44	794	38	3,352	\$ 8.50	\$ 28,496
2018	Butcher	BS 35	Guenther Ave.	Local	Limited Overlay	6	20	1,325	29	4,269	\$ 8.50	\$ 36,290

Subtotal - Limited Overlay - Contract Services / City Forces

11,535 LF 40,047 \$ 340,398

2.185 Miles

2018 Street Maintenance Plan

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Reconstruct / Rehab												
2018	Mill St.	N. Peach Ave.	N. Live Oak Ave.	Local	Reconstruct	1	26	1,144	36	4,576	\$ 45.00	\$ 205,920
2018	Cedar Elm St.	Terminus	Madaline St.	Local	Rehab	3	11	2,286	22	5,588	\$ 32.50	\$ 181,610
2018	Madaline St.	Cedar Elm St.	Landa St.	Local	Rehab	3	14	483	20	1,073	\$ 32.50	\$ 34,883
2018	S. Veramendi Ave	Common St.	E. South St.	Local	Rehab	5	19	371	40	1,649	\$ 7.00	\$ 11,542
2018	E. Coll St.	S. Market Ave.	S. Gilbert Ave.	Local	Rehab	5	39	704	32	2,503	\$ 32.50	\$ 81,351
2018	S. Gilbert Ave.	Napoleon St.	E. Coll St.	Local	Rehab	5	35	352	32	1,252	\$ 7.00	\$ 8,761
2018	Mistletoe Ave.	Terminus	IH 35 SFR	Local	Rehab	5	23	681	38	2,875	\$ 7.00	\$ 20,127
2018	W FAUST ST	S ACADEMY	S CASTELL AVE	Local	Rehab	6	44	1,154	25	3,206	\$ 7.00	\$ 22,439
Subtotal - Reconstruct / Rehab								7,175	LF	22,722		\$ 566,634
								1.359	Miles			

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Blade Levelup/Reclaim - City Forces (material only)												
	As needed throughout the year.											\$ 150,000
Subtotal - Blade Levelup/Reclaim - City Forces (material only)												\$ 150,000

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Crack Seal - City Forces (material only)												
2018	BEE BLVD	MORNINGSIDE DR	CHEROKEE BLVD	Local	CRACK SEAL	1	84	195	36	780	\$ 0.20	\$ 156
2018	BARN SWALLOW	WIGEON WAY	Pelican Place	Local	CRACK SEAL	1	79	1,004	26	2,900	\$ 0.20	\$ 580
2018	FEATHER	KINGBIRD PLACE	WHOOPIING CRANE	Local	CRACK SEAL	1	78	562	30	1,873	\$ 0.20	\$ 375
2018	RUDDY DUCK	THRASHER TRL	TERMINUS	Local	CRACK SEAL	1	77	1,148	26	3,316	\$ 0.20	\$ 663
2018	COPPER TREE DR	COPPER HILL DR	SAENGERHALLE RD	Local	CRACK SEAL	2	86	467	33	1,712	\$ 0.20	\$ 342
2018	COPPER VIEW DR	TERMINUS	COPPER PATH DR	Local	CRACK SEAL	2	83	221	33	810	\$ 0.20	\$ 162
2018	Cap Rock Trail	SH 46	Jordan Crossing	Local	CRACK SEAL	2	86	1,607	26	4,642	\$ 0.20	\$ 928
2018	Cap Stone Ridge	TERMINUS	Cap Rock Trail	Local	CRACK SEAL	2	88	468	26	1,352	\$ 0.20	\$ 270
2018	Cap Stone Ridge	Cap Rock Trail	TERMINUS	Local	CRACK SEAL	2	86	641	26	1,852	\$ 0.20	\$ 370
2018	WILTSHIRE DR	TOM KEMP DR	BRIGGS DR	Local	CRACK SEAL	2	76	531	30	1,770	\$ 0.20	\$ 354
2018	SINCLAIR DR	TOM KEMP DR	BRIGGS DR	Local	CRACK SEAL	2	66	528	30	1,760	\$ 0.20	\$ 352
2018	ECHO HILLS DR	TOM KEMP DR	BRIGGS DR	Local	CRACK SEAL	2	61	526	30	1,753	\$ 0.20	\$ 351
2018	BITTERS DR	TOM KEMP DR	TERMINUS	Local	CRACK SEAL	2	78	145	30	483	\$ 0.20	\$ 97
2018	STONE CT	STONE GATE DR	TERMINUS	Local	CRACK SEAL	2	84	149	26	430	\$ 0.20	\$ 86
2018	ASBURY CT	S. ABBEY LOOP	TERMINUS	Local	CRACK SEAL	2	72	166	33	609	\$ 0.20	\$ 122
2018	CANYON DR	KENTUCKY BLVD	OHIO AVE	Local	CRACK SEAL	3	85	1,799	26	5,197	\$ 0.20	\$ 1,039
2018	ARBOR CIR	OHIO AVE	TERMINUS	Local	CRACK SEAL	3	83	279	36	1,116	\$ 0.20	\$ 223
2018	FOREST RDG	RIDGE HILL DR	TERMINUS	Local	CRACK SEAL	3	87	337	36	1,348	\$ 0.20	\$ 270
2018	CEDAR TRL	TERMINUS	Mission Trl	Local	CRACK SEAL	3	86	143	32	508	\$ 0.20	\$ 102
2018	CEDAR TRL	Mission Trl	TERMINUS	Local	CRACK SEAL	3	87	273	32	971	\$ 0.20	\$ 194

2018 Street Maintenance Plan												
2018	ELM TRL	MISSION TRL	TERMINUS	LOCAL	CRACK SEAL	3	87	272	32	967	\$ 0.20	\$ 193

2018 Street Maintenance Plan

Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Crack Seal - City Forces (material only) (cont'd.)												
2018	PERSIMMON TRL	MISSION TRL	TIMBER DR	Local	CRACK SEAL	3	80	535	32	1,902	\$ 0.20	\$ 380
2018	HUNTERS RDG	HUNTERS CREEK DR	TERMINUS	Local	CRACK SEAL	3	80	875	36	3,500	\$ 0.20	\$ 700
2018	HUNTERS TRACE	OAK RUN PKWY	TERMINUS	Local	CRACK SEAL	3	89	779	32	2,770	\$ 0.20	\$ 554
2018	HUNTERS TRL	OAK RUN PKWY	TERMINUS	Local	CRACK SEAL	3	88	769	32	2,734	\$ 0.20	\$ 547
2018	BENDING OAK	OAK GLEN	TERMINUS	Local	CRACK SEAL	3	85	522	28	1,624	\$ 0.20	\$ 325
2018	DIAMOND OAK	TERMINUS	Crown Rdg	Local	CRACK SEAL	3	84	176	28	548	\$ 0.20	\$ 110
2018	DIAMOND OAK	Crown Rdg	TERMINUS	Local	CRACK SEAL	3	87	263	28	818	\$ 0.20	\$ 164
2018	OAK SPRAWL	SH 46	OAK GLEN	Local	CRACK SEAL	3	89	1,201	38	5,071	\$ 0.20	\$ 1,014
2018	ACORN COVE DR	ACORN DR	TERMINUS	Local	CRACK SEAL	4	87	132	26	381	\$ 0.20	\$ 76
2018	WILLIAMS	ACORN DR	Acorn Dr	Local	CRACK SEAL	4	87	2,187	26	6,318	\$ 0.20	\$ 1,264
2018	HANNAHS RUN	ACORN DR	WILLIAMS WAY	Local	CRACK SEAL	4	88	561	26	1,621	\$ 0.20	\$ 324
2018	MARCIA PLACE	HANNAHS RUN	WILLIAMS WAY	Local	CRACK SEAL	4	84	455	26	1,314	\$ 0.20	\$ 263
2018	LAKEVIEW TERRACE	TERMINUS	LAKEVIEW BLVD	Local	CRACK SEAL	4	87	389	36	1,556	\$ 0.20	\$ 311
2018	LAZY BLUFF LN	BLUFF CREEK CIR	TERMINUS	Local	CRACK SEAL	4	82	138	30	460	\$ 0.20	\$ 92
2018	Windrose Dr.	PINEHURST DR	WILLOW CROSSING	Local	CRACK SEAL	4	80	289	33	1,060	\$ 0.20	\$ 212
2018	VILLAGE PATH (N)	Cotton Crossing Ln	Vineyard Way	Local	CRACK SEAL	4	88	425	16	756	\$ 0.20	\$ 151
2018	VILLAGE PATH (S)	Cotton Crossing Ln	Vineyard Way	Local	CRACK SEAL	4	89	450	16	800	\$ 0.20	\$ 160
2018	VILLAGE PATH	Vineyard Way	Cotton Blvd.	Local	CRACK SEAL	4	84	656	20	1,458	\$ 0.20	\$ 292
2018	VILLAGE PATH	Cotton Blvd	Terminus	Local	CRACK SEAL	4	87	145	20	322	\$ 0.20	\$ 64
2018	GRUENE LEAF DR	TERMINUS	GRUENE RD	Local	CRACK SEAL	4	89	536	36	2,144	\$ 0.20	\$ 429
2018	GRUENE SPG	TERMINUS	GRUENE LEAF DR	Local	CRACK SEAL	4	87	676	36	2,704	\$ 0.20	\$ 541
2018	MIKULA PLACE	GRUENE RD	Dead End	Local	CRACK SEAL	4				-	\$ 0.20	\$ -
2018	ERVENDBERG AVE	GRUENE RD	CITY LIMIT/UPRR	Local	CRACK SEAL	4	80	2,381	20	5,291	\$ 0.20	\$ 1,058
2018	Spring Hollow Dr	FLAMING OAK	CITY LIMIT	Local	CRACK SEAL	4	62	72	20	160	\$ 0.20	\$ 32
2018	OLD TRL	NORTHGAP DR	Northwest Crossing Dr	Local	CRACK SEAL	4	84	307	26	887	\$ 0.20	\$ 177
2018	SEELE ALLEY	TERMINUS	SEELE ST	Local	CRACK SEAL	5	50	157	22	384	\$ 0.20	\$ 77
2018	STONE BRANCH	STONE GATE DR	Stone Arch	Local	CRACK SEAL	5	81	752	26	2,172	\$ 0.20	\$ 434
2018	STONE BRANCH	Stone Arch	TERMINUS	Local	CRACK SEAL	5	86	582	26	1,681	\$ 0.20	\$ 336
2018	ANNE LOUISE Dr	OELKERS DR	FLOATING STAR	Local	CRACK SEAL	5	82	1,117	26	3,227	\$ 0.20	\$ 645
2018	FLOATING STAR	OELKERS DR	ANNE LOUISE DR	Local	CRACK SEAL	5	81	626	36	2,504	\$ 0.20	\$ 501
2018	HELEN Dr	OELKERS DR	ROSALIE DR	Local	CRACK SEAL	5	80	391	26	1,130	\$ 0.20	\$ 226
2018	BIRDSONG	WIND MURMUR	MAGNOLIA WIND	Local	CRACK SEAL	5	82	532	26	1,537	\$ 0.20	\$ 307
2018	MAGNOLIA WIND	BIRDSONG LN	Whistle Wind	Local	CRACK SEAL	5	89	511	26	1,476	\$ 0.20	\$ 295
2018	MAGNOLIA WIND	Whistle Wind	Gentle Breeze	Local	CRACK SEAL	5	81	911	26	2,632	\$ 0.20	\$ 526
2018	MAGNOLIA WIND	Gentle Breeze	Wind Gust	Local	CRACK SEAL	5	85	455	26	1,314	\$ 0.20	\$ 263
2018	WIND MURMUR	BIRDSONG LN	Magnolia Wind	Local	CRACK SEAL	5	84	1,033	26	2,984	\$ 0.20	\$ 597
2018	MELODY WIND	BIRDSONG LN	Magnolia Wind	Local	CRACK SEAL	5	85	1,033	26	2,984	\$ 0.20	\$ 597
2018	WIND HAVEN Dr	WIND MURMUR	WIND GUST	Local	CRACK SEAL	5	84	270	26	780	\$ 0.20	\$ 156
2018	W. Main Ave.	N UNION AVE	N LIBERTY AVE	Local	CRACK SEAL	5	70	363	38	1,533	\$ 0.20	\$ 307
2018	WINDGATE	FM 306	TERMINUS	Local	CRACK SEAL	5				-	\$ 0.20	\$ -

2018 Street Maintenance Plan												
Year	Street	Segment to Segment		Functional Classification	Description of Work	District	OCI	Length (LF)	Width (FT)	Area (Yd2)	Cost per Yd2	Estimated Cost
		From	To									
Crack Seal - City Forces (material only) (cont'd.)												
2018	Additional quantites as needed throughout the year.									50,000	\$ 0.20	\$ 10,000
Subtotal - Crack Seal								35,113	LF	158,689		\$ 31,738
								6.650	Miles			

Total FY 2018 - Proposed

\$ 2,081,843

11/13/2017

Agenda Item No. I)

Presenter/Contact

Garry Ford, City Engineer
(830) 221-4020 - gford@nbtexas.org

SUBJECT:

Approval of the first reading of an ordinance to revise the school speed zones at Carl Schurz Elementary School, New Braunfels High School Ninth Grade Center, and Saints Peter and Paul Catholic School.

BACKGROUND / RATIONALE:

Council Districts: 5 and 6

Staff is conducting a review of the school speed zones for the existing schools in the city. As a result of this review, changes are proposed for Carl Schurz Elementary, New Braunfels High Ninth Grade Center, and Sts. Peter and Paul Catholic School, as well as distance clarifications for Clear Springs Elementary and Oak Creek Elementary.

A school zone is a section of roadway adjacent to a school or a school crosswalk where signs designating a school are present. A school speed zone is a special reduced speed zone for schools allowed by ordinance and defined by school speed signs. Ideally, school speed zones should be kept short to enhance driver compliance. School speed zones are intended for pedestrian safety and not to facilitate vehicle movements. The Texas Manual on Uniform Traffic Control Devices (TMUTCD) provides guidance that the point of a school speed zone should be at least 200 feet in advance of a school crossing if the school speed limit is less than 30 mph.

Carl Schurz Elementary and New Braunfels High Ninth Grade Center are located adjacent to one another, with Butcher Street between the two campuses. The changes proposed for the school speed zone locations at both schools are to adjust the distance covered by the school speed zone to the school crossing locations to be consistent with the TMUTCD guidance of at least 200 feet in advance of the school crossing locations. The school speed zone locations on South Guenther Avenue, Clemens Avenue, Magazine Avenue, West Coll Street near Magazine Avenue, and West Nacogdoches Street will be extended and West Coll Street near South Guenther Avenue will be shortened so that the school speed zone begins 200 feet before the closest school crossing.

The school speed zone for Sts. Peter and Paul Catholic School will be updated to match the existing signs at the school. West Zink Street from Landa Street to its dead end will be added to the ordinance and the existing school speed zone on Castell Avenue will end at West Bridge Street instead of extending through the parking lot of the school.

Clarifications on the distance to match the posted signs at Clear Springs Elementary and Oak Creek Elementary are also proposed at this time.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

2006 Comprehensive Plan: Transportation Goal 21: Provide a system of convenient and safe transportation facilities through comprehensive, cooperative, and continuing transportation system planning and development.

FISCAL IMPACT:

Traffic control signs cost approximately \$150 each. Sufficient funding is available in the FY17-18 approved streets and drainage budget.

COMMITTEE RECOMMENDATION:

The Transportation and Traffic Advisory Board unanimously approved the recommendation to City Council to revise the school speed zone locations at Carl Schurz Elementary, New Braunfels High School Ninth Grade Center, and Saints Peter and Paul Catholic School, as well as distance clarifications for Clear Springs Elementary and Oak Creek Elementary on October 12, 2017.

STAFF RECOMMENDATION:

Staff recommends amending the school speed zone locations at Carl Schurz Elementary, New Braunfels High School Ninth Grade Center, and Saints Peter and Paul Catholic School, as well as distance clarifications for Clear Springs Elementary School and Oak Creek Elementary School.

ORDINANCE NO. 2017-_____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS, AMENDING SECTION 126-136 (a) OF THE CITY OF NEW BRAUNFELS CODE OF ORDINANCES TO AMEND THE SCHOOL SPEED ZONE AT THE NEW BRAUNFELS HIGH NINTH GRADE CENTER, CARL SCHURZ ELEMENTARY, AND STS. PETER AND PAUL CATHOLIC SCHOOL.

WHEREAS, after engineering and field investigation, the City Engineer has recommended that traffic control signs be installed on certain streets, avenues, thoroughfares and boulevards within the corporate limits of the City of New Braunfels in order to protect the health, safety and welfare of the citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

I.

THAT the City of New Braunfels Code of Ordinances Section 126-136 (a) is hereby amended as follows:

- (a) No person shall drive any vehicle on the following streets within the areas designated in this subsection during the posted hours or when the school zone flashing lights are operating from 7:00 a.m. to 5:00 p.m. on each scheduled school day during every authorized school term, in excess of 20 miles per hour; and 30 miles per hour at every other time:

Guenther Avenue between Business 35 and Butcher Street;

Butcher Street between Magazine Avenue and Santa Clara Avenue;

Magazine Avenue between Butcher Street and Business 35;

Nacogdoches Street between 200 feet east of Magazine Avenue and Santa Clara Avenue;

Church Hill Drive between 116 feet southwest of the Loop 337 Frontage Road and the intersection with Broadway;

Loop 337 Frontage Road between Loop 337 and Church Hill Drive;

Oak Run Point between State Highway 46 to dead end;

Ohio Avenue between 200 feet east of Brentwood Drive and its end southwest of

Kentucky Boulevard;

Guenther Avenue between Butcher Street and 200 feet northwest of W. Coll Street;

Clemens Avenue between W. Coll Street and 200 feet northwest of W. Coll Street;

Magazine Avenue between Butcher Street and 200 feet northwest of W. Coll Street;

W. Coll Street between 200 feet northeast of Magazine Avenue and 200 feet south of S. Guenther Avenue;

Howard Street between Fredericksburg Road and 190 feet east of N. Walnut Avenue;

Fredericksburg Road between 150 feet north of Wood Road and 50 feet south of Oakcrest Drive;

Bell Street between 180 feet west of Rosemary Drive and Fredericksburg Road;

Rosemary Drive between Howard Street and Starcrest Drive;

Parkview Drive between Oakcrest Drive and Bell Street;

Avery Parkway between 570 feet south of Whispering Way and 535 feet north of Conner Drive;

Goodwin Lane between 528 feet north of Orion Drive and 530 feet north of Dove Hollow Drive;

Escarpment Oak from the intersection at Goodwin Lane southeasterly for a distance of 880 feet;

Settlers Crossing between S. Walnut Avenue and Savannah Hill Circle;

Klein Way between Klein Road and Settler's Crossing;

Hidalgo Avenue between W. San Antonio Street and Spur No. 3;

Lone Star Avenue between W. San Antonio Street and IH 35 Frontage Road;

W. San Antonio Street between Grape Avenue and Lone Star Avenue;

Zamora Street between Hidalgo Avenue and Lone Star Avenue;

Main Street between Houston Avenue and Veramendi Avenue;

Commerce Street between Houston Avenue and Veramendi Avenue;

Veramendi Avenue between Common Street and Camp Street;

Houston Avenue between Common Street and Camp Street;

Central Avenue between Common Street and Main Street and between Commerce Street and Camp Street;

W. Bridge Street between N. Seguin Avenue and Academy Avenue;
Castell Avenue between W. Mill Street and W. Bridge Street;
W. Zink Street between Landa Street and dead end;
Cross Street between Guenther Avenue and Santa Clara Avenue;
Santa Clara Avenue between Cross Street and W. San Antonio Street;
Kerlick Lane from the intersection of Mission Hills Drive easterly for a distance of 1,500 feet;
Mission Hills Drive from the intersection of Kerlick Lane southwesterly for a distance of 1,500 feet;
Old Austin Road between Loop 337 and Post Road;
Broadway between Post Road and dead end; and
Hanz Drive from the intersection of East Common Street westerly for a distance of 610 feet.

II.

THAT all provisions hereof declared to be severable and if any provisions hereof is declared to be invalid or unconstitutional, such shall not invalidate or affect the remaining provisions hereof which remain in full force and effect.

III.

All other ordinances or parts of ordinances in conflict herewith are repealed to the extent that they are in conflict.

IV.

This Ordinance shall become adopted and effective upon its second reading, signature required by City Charter, and filing with the City Secretary's Office. This Ordinance must also be published in a newspaper of general circulation at least one time within ten (10) days after its final passage, as required by the City Charter of the City of New Braunfels.

PASSED AND APPROVED: First reading this the _____ day of _____, 2017.

PASSED AND APPROVED: Second reading this the _____ day of _____, 2017.

CITY OF NEW BRAUNFELS, TEXAS

BARRON CASTEEL, MAYOR

ATTEST:

PATRICK D. ATEN CITY SECRETARY

APPROVED AS TO FORM:

VALERIA M. ACEVEDO, CITY ATTORNEY

Sec. 126-136. - Speed zones—Twenty miles per hour on school days—Thirty miles per hour at other times.

- (a) No person shall drive any vehicle on the following streets within the areas designated in this subsection during the posted hours or when the school zone flashing lights are operating from 7:00 a.m. to 5:00 p.m. on each scheduled school day during every authorized school term, in excess of 20 miles per hour; and 30 miles per hour at every other time:

Guenther Avenue between Business 35 and Butcher Street;

Butcher Street between Magazine Avenue and Santa Clara Avenue;

Magazine Avenue between Butcher Street and Business 35;

Nacogdoches Street between 200 feet east of Magazine Avenue and Santa Clara Avenue;

Church Hill Drive between ~~0.225/10th of a mile north of Ridgewood Avenue and one-tenth of a mile southeast of the intersection of Post Road~~ 116 feet southwest of the Loop 337 Frontage Road and the intersection with Broadway;

Loop 337 Frontage Road between Loop 337 and Church Hill Drive;

Oak Run Point between State Highway 46 to dead end;

Ohio Avenue between 200 feet east of Brentwood Drive and its end southwest of Kentucky Boulevard;

Guenther Avenue between Butcher Street and 200 feet northwest of W. Coll Street;

Clemens Avenue between W. Coll Street and 200 feet northwest of W. Coll Street;

Magazine Avenue between Butcher Street and 200 feet northwest of W. Coll Street;

W Coll Street between 200 feet northeast of Magazine Avenue and ~~Santa Clara Avenue~~ 200 feet south of S. Guenther Avenue;

Howard Street between Fredericksburg Road and 190 feet east of N. Walnut Avenue;

Fredericksburg Road between 150 feet north of Wood Road and 50 feet south of Oakcrest Drive;

Bell Street between 180 feet west of Rosemary Drive and Fredericksburg Road;

Rosemary Drive between Howard Street and Starcrest Drive;

Parkview Drive between Oakcrest Drive and Bell Street;

Avery Parkway between ~~0.1 mile~~ 570 feet south of Whispering Way and ~~0.1 mile~~ 535 feet north of Conner Drive;

Goodwin Lane between ~~0.1 mile~~ 528 feet north of Orion Drive and ~~0.1 mile~~ 530 feet north of Dove Hollow Drive;

Escarpment Oak from the intersection at Goodwin Lane southeasterly for a distance of 880 feet;

Settler's Crossing between S. Walnut Avenue and Savannah Hill Circle;

Klein Way between Klein Road and Settler's Crossing;

Hidalgo Avenue between W. San Antonio Street and Spur No. 3;

Lone Star Avenue between W. San Antonio Street and IH 35 Frontage Road;

W San Antonio Street between Grape Avenue and Lone Star Avenue;

Zamora Street between Hidalgo Avenue and Lone Star Avenue;

Main Street between Houston Avenue and Veramendi Avenue;

Commerce Street between Houston Avenue and Veramendi Avenue;

Veramendi Avenue between Common Street and Camp Street;

Houston Avenue between Common Street and Camp Street;

Central Avenue between Common Street and Main Street and between Commerce Street and Camp Street;

W Bridge Street between N. Seguin Avenue and Academy Avenue;

Castell Avenue between W. Mill Street and ~~Zink Street~~ W. Bridge Street;

W Zink Street between Landa Street and dead end;

Cross Street between Guenther Avenue and Santa Clara Avenue;

Santa Clara Avenue between Cross Street and W. San Antonio Street;

Kerlick Lane from the intersection of Mission Hills Drive easterly for a distance of 1,500 feet;

Mission Hills Drive from the intersection of Kerlick Lane southwesterly for a distance of 1,500 feet;

Old Austin Road between Loop 337 and Post Road;

Broadway between Post Road and dead end; and

Hanz Drive from the intersection of East Common Street westerly for a distance of 610 feet.

- (b) Any person who shall violate any provision of this section shall be deemed guilty of a misdemeanor, and upon conviction thereof shall be punishable by a fine not to exceed \$200.00.

(Code 1961, § 23-110.1; Ord. No. 94-26, § 23.110.1(b), (c), 6-13-94; Ord. No. 95-33, § I, 10-9-95; Ord. No. 96-21, § I, 4-8-96; Ord. No. 97-37, § I, 11-24-97; Ord. No. 2001-57, § I, 10-22-01; Ord. No. 2007-66, § I, 8-27-07; Ord. No. 2008-59, § I, 8-25-08; Ord. No. 2008-63, § I, 9-22-08; Ord. No. 2009-08, § I, 2-23-09; 2009-10, § I, 3-9-09; Ord. No. 2009-31, § I, 5-26-09; Ord. No. 2009-66, § I, 9-28-09; Ord. No. 2010-48, § I, 7-26-10; Ord. No. 2011-73, § I, 10-10-11; Ord. No. 2013-55, § I, 9-9-13; Ord. No. 2013-56, § I, 9-9-13; Ord. No. 2015-15, § I, 3-9-15; Ord. No. 2016-72, § I, 11-28-16; Ord. No. 2017-03, § I, 1-9-17; Ord. No. 2017-10, § I, 1-23-17; Ord. No. 2017-16, § I, 2-13-17)



Proposed Changes to School Speed Zones at
Carl Schurz Elementary and New Braunfels High Ninth Grade Center



Proposed Changes to School Speed Zone at Sts. Peter and Paul Catholic School

11/13/2017

Agenda Item No. J)

Presenter/Contact

Valeria Acevedo, City Attorney
(830) 221-4281 - vacevedo@nbtexas.org

SUBJECT:

Approval of the second and final reading of an ordinance amending Code of Ordinances Chapter 126 by creating Section 126-356, prohibiting parking in spaces and areas located on private property, designated for exclusive use by vehicles that display proper placard or license plates and are used for transporting persons with disabilities, and authorizing towing enforcement.

BACKGROUND / RATIONALE:

The Texas Transportation Code, Chapter 681 entitled "Privileged Parking", authorizes political subdivisions to require persons who own or control private property to include designated parking spaces for persons with disabilities on private property, and to require compliance with state law on proper identification of such designated spaces. The Police Department is currently authorized by state law to enforce such parking violations on public property but in order to do so on private property, an ordinance must be adopted by the City Council. This ordinance authorizes the Police Department to enforce disabled parking violations on private property by issuing parking citations and it authorizes towing enforcement so long as towing signage is present.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

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FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the second and final reading of an ordinance prohibiting parking in spaces and areas located on private property, designated for exclusive use by vehicles that display proper placard or license plates and are used for transporting persons with disabilities, and authorizing towing enforcement.

ORDINANCE NO. 2017 - ____

AN ORDINANCE OF THE CITY OF NEW BRAUNFELS, TEXAS, CREATING SECTION 126-356 TO PROHIBIT PARKING IN SPACES AND AREAS LOCATED ON PRIVATE PROPERTY AND DESIGNATED FOR EXCLUSIVE USE BY VEHICLES WITH PROPER PLACARD OR LICENSE PLATES THAT ARE USED FOR TRANSPORTING PERSONS WITH DISABILITIES; AUTHORIZING TOWING ENFORCEMENT; PROVIDING FOR PENALTIES; REPEALING ALL LAWS IN CONFLICT; PROVIDING FOR SEVERABILITY; AND DECLARING AN EFFECTIVE DATE.

WHEREAS, the Texas Transportation Code provides that a vehicle may park in a parking space or area that is designated specifically for people with disabilities if the vehicle is being operated by or for the transportation of a person with a disability and the vehicle displays special license plates or a disabled parking placard; and

WHEREAS, the Texas Department of Motor Vehicles issues disabled parking placards and/or license plates to the owners of motor vehicles regularly operated by or for the transportation of a person with temporary or permanent disabilities, entitling the holder to park in a space designated specifically for persons with physical disabilities; and

WHEREAS, disabled parking spaces are intended for use only by motor vehicles that display a disabled parking placard or license plate in or on their vehicle; and

WHEREAS, people without disabled parking placards or license plates sometimes park in parking spaces reserved for persons with disabilities, removing those spaces from the supply available to those for whom they are intended; and

WHEREAS, Chapter 681 of the Texas Transportation Code provides that the City may require the owner or person in control of private property that provides parking to provide one or more parking spaces for the exclusive use by vehicles transporting persons with disabilities.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

SECTION1: That Chapter 126 “Traffic and Vehicles” Article VII “Parking”, Division 2 “Prohibited Parking” is hereby amended to read as follows:

126-356 - PARKING FOR PERSONS WITH DISABILITIES.

(a) **DISABLED PARKING SPACES ON PUBLIC AND PRIVATE PROPERTY.**

The city engineer is hereby authorized and directed, pursuant to the provisions and procedures of Chapter 681 of the Texas Transportation Code, to designate and establish spaces on the streets of the city and on any property owned or controlled by the city, and the owner or person in control of any other private or

public property must similarly designate and establish one or more parking spaces thereon, for the exclusive use by vehicles transporting persons with disabilities.

- (b) **STANDARDS AND IDENTIFICATION.** The identification which includes signage and dimensions of disabled parking spaces on public or private property must conform to the minimum standards set forth in the Texas Accessibility Standards promulgated by the Texas Commission on Licensing and Regulation pursuant to the Texas Architectural Barriers Act, Article 9102, Texas Civil Statutes. Such spaces on private property shall be designated by posting appropriate signage at the owner's sole expense.
- (c) **TOW-AWAY ZONES AUTHORIZED.** Parking spaces and parking areas designated specifically for vehicles transporting persons with disabilities must be marked and designated as tow-away zones. Any vehicle parked in such a marked tow-away zone that does not display a placard or plate with the international symbol of access issued in a form prescribed by the Texas Department of Transportation (or an equivalent symbol issued by another state if the vehicle is not registered in Texas) shall be subject to towing and impoundment by authority of any police officer of the city. No person shall stand or park a vehicle in a disabled parking space unless authorized to do so under state law.
- (d) **NO CULPABLE MENTAL STATE REQUIRED.** The culpable mental state required by chapter 6.02 of the Texas Penal Code is hereby specifically negated. The offenses under this chapter shall be strict liability offenses. Any person violating any of the provisions of this section shall be deemed guilty of a misdemeanor and, upon conviction, shall be subject to a fine in accordance with applicable state law. Repeat offenders shall be subject to higher fines in accordance with V.T.C.A., Transportation Code, §681.011, as amended. Nothing in this section shall be construed as to limit any civil action the city may take to enforce the terms of this article.

SECTION 2: This Ordinance shall be and is hereby declared to be cumulative to all other ordinances of the City of New Braunfels relating to parking within the City of New Braunfels, and same shall not operate to repeal or affect any such ordinance or ordinances except insofar as the provisions of such ordinance or ordinances are inconsistent or in conflict with the provisions of this Ordinance, in which instance or instances those provisions shall be and they are hereby repealed.

SECTION 3: That if any provisions of this Ordinance shall be held void, illegal, or unconstitutional, it is hereby provided that all other parts of the same which are not held void, illegal or unconstitutional shall remain in full force and effect.

SECTION 4: This Ordinance shall take effect upon the second and final reading of the same.

PASSED AND APPROVED: First reading this ____ day of _____, 2017.

PASSED AND APPROVED: Second reading this ____ day of _____,
2017.

CITY OF NEW BRAUNFELS, TEXAS

BARRON CASTEEL, Mayor

ATTEST:

Patrick D. Aten, City Secretary

APPROVED AS TO FORM:

Valeria M. Acevedo, City Attorney

11/13/2017

Agenda Item No. A)

Presenter/Contact

Patrick Aten, City Secretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Discuss and consider approval of the appointment of three individuals to the Community Development Advisory Committee for terms ending December 13, 2020.

BACKGROUND / RATIONALE:

The Community Development Advisory Committee (CDAC) is comprised of nine individuals serving three year staggered terms. Three vacancies were advertised September 15 to October 16, 2017.

The following qualified applicants were submitted:

- John Goodwin (incumbent)
- Courtney Lyons-Garcia (incumbent)
- Harry Bowers (incumbent)
- Marc Hamilton

Applicant's current & prior service on Boards and Commissions

John Goodwin currently serves on the CDAC. He is a 2016 graduate of City University.

Courtney Lyons-Garcia currently serves on the CDAC. She previously served on the Main Street Advisory Board, the Building Standards Commission, and the Historic Landmark Commission.

Harry Bowers currently serves on the CDAC. He is a 2017 graduate of City University.

Marc Hamilton has no previous experience with City of New Braunfels boards.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends the appointment of three individuals to the Community Development Advisory Committee for terms ending December 13, 2020.

11/13/2017

Agenda Item No. B)

Presenter/Contact

Patrick Aten, City Seretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Discuss and consider approval of the appointment of three individuals to the River Advisory Committee for terms ending December 8, 2020.

BACKGROUND / RATIONALE:

The River Advisory Committee (RAC) is comprised of seven members with position-specific seats, and with three year staggered terms. The two river/tourism professional seats and the one citizen-at-large-but-on-the-Comal-River-but-not-in-the-river-business seat were posted from September 15 to October 16, 2017.

The following qualified applications were submitted:

- Darren Hill (incumbent) for river/tourism professional seat
- Matthew Hoyt (incumbent) for river/tourism professional seat
- Kris Bolstad for river/tourism professional seat
- Dick Hillyer (incumbent) for citizen-at-large-on-the-Comal-River seat

Applicant's current & prior service on Boards and Commissions

Darren Hill currently serves on the RAC.

Matthew Hoyt currently serves on the RAC and the San Antonio Street Bridge Steering Committee. He previously served on the Planning Commission and CDAC.

Kris Bolstad does not have board or commission experience.

Dick Hillyer currently serves on the RAC.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of the appointment of three individuals to the River Advisory Committee for terms ending December 8, 2020.

11/13/2017

Agenda Item No. C)

Presenter/Contact

Robert Camareno, City Manager
(830) 221-4280 - rcamareno@nbtexas.org

SUBJECT:

Discuss and consider approval of the appointment of members to the Bond Advisory Committee.

BACKGROUND / RATIONALE:

City Council formed a Bond Advisory Committee made up of 24 members. As of October 23rd, the membership is comprised of:

- Chair (non-voting): Ray Still
- City Council -
 - Mayor: Wes Studdard
 - District 1: Teresa Hendon
 - District 2: Garry Montgomery
 - District 3: Larry Hammonds
 - District 4: Jan Morton
 - District 5: Bob Gray
 - District 6: _____
- Chamber of Commerce: Brandon Dietert
- City Boards/Commissions -
 - Downtown Board: Shane Hines
 - Library Advisory Board: Amy Stone
 - NBIDC Board: Stuart Hansmann
 - NBU Board: Atanacio Campos
 - Parks & Recreation Advisory Board: John Mathis
 - Planning Commission: Cory Elrod
 - River Advisory Committee: _____
 - Watershed Advisory Committee: Stephen Hanz
 - Historic Landmark Commission: _____
 - Arts Commission: Dee Buck
- Comal County: _____
- Guadalupe County: _____
- At-large: _____
- At-large: _____
- At-large: _____

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

Staff recommends the appointment of individuals to the remainder of positions to the Bond Advisory Committee.

11/13/2017

Agenda Item No. D)

Presenter/Contact

Patrick Aten, City Secretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Discuss and consider approval of a resolution to cast 456 votes toward the election of a member of the Comal Appraisal District Board of Directors.

BACKGROUND / RATIONALE:

Sec. 6.03(k) of the Texas Tax Code requires that each taxing unit eligible to vote for an appraisal district's board of directors adopt a resolution to cast a ballot for the candidate(s) of its choice. This year the City Council is entitled to cast 456 votes for the candidates listed on the attached ballot.

There is a total of 5,000 votes within Comal County.

Current Directors are:

- Dan Krueger, Chairman
- Wade Cleary, Vice-Chairman
- Randy Maschek, Secretary
- Nancy Pappas
- John Tyler

Candidates are:

- Dan Krueger
- Wade Cleary
- John Kuntz
- Randy Maschek
- Nancy Pappas
- John Tyler

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

N/A

COMAL APPRAISAL DISTRICT

900 S. SEGUIN AVENUE
NEW BRAUNFELS, TEXAS 78130

RUFINO H. LOZANO, RPA-RTA
CHIEF APPRAISER

October 12, 2017

Mayor Barron Casteel
City of New Braunfels
424 S. Castell Avenue
New Braunfels, TX 78130

RE: 2018-2019 Board of Directors Election Ballot


Dear Honorable Barron Casteel:

Enclosed is the 2018-2019 Board of Directors ballot for the City of New Braunfels. As per Section 6.03(d) of the Texas Property Tax Code, "The voting entitlement of a taxing unit that is entitled to vote for directors is determined by dividing the total dollar amount of property taxes imposed in the district by the taxing unit for the preceding tax year by the sum of the total dollar amount of property taxes imposed in the district for that year by each taxing unit that is entitled to vote, by multiplying the quotient by 1,000, and by rounding the product to the nearest whole number. That number is multiplied by the number of directorships to be filled. A taxing unit participating in two or more districts is entitled to vote in each district in which it participates, but only the taxes imposed in a district are used to calculate voting entitlement in that district."

Also, Section 6.03 (k) of the Texas Property Tax Code requires that "The governing body of each taxing unit entitled to vote shall determine its vote by resolution and submit it to the chief appraiser before December 15." Therefore please submit results of that vote to the Chief Appraiser of the Comal Appraisal District by December 15, 2017.

In calculating this year's votes, it is determined that the City of New Braunfels has **456 votes** to cast in this election.

Sincerely,



Rufino H. Lozano, RPA-RTA
Chief Appraiser

Enclosure

Cc: Mr. Robert Camareno

OFFICIAL BALLOT

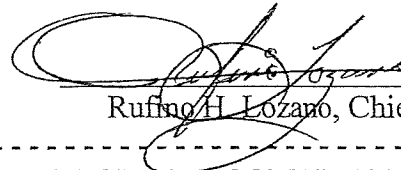
Issued to: City of New Braunfels

TO ELECT
BOARD OF DIRECTORS FOR THE COMAL APPRAISAL DISTRICT
FOR THE YEARS 2018-2019

Directions: Please enter the number of votes cast on the blank space opposite the name of the candidate or divide those votes amount any number of the candidates. You have **456** total available votes.

	CANDIDATES	NOMINATING BODY	VOTES CAST
1.	Wade Cleary	CISD	_____
2.	Dan Krueger	CISD	_____
3.	John Kuntz	CISD	_____
4.	Randy Maschek	City of Garden Ridge	_____
5.	Nancy Pappas	CISD, NBISD	_____
6.	John Tyler	Comal County	_____

Issued under my hand this 16th day of October, 2017.


Rufino H. Lozano, Chief Appraiser

RESOLUTION OF VOTES CAST TO ELECT DIRECTORS FOR THE COMAL APPRAISAL DISTRICT
FOR THE YEARS 2018-2019

WHEREAS, Section 6.03(k), of the Texas Property Tax Code requires that each taxing unit entitled to vote cast their vote by Resolution and submits results of that vote to the Chief Appraiser of the Comal Appraisal District by December 15, 2017.

THEREFORE, the City of New Braunfels submits the above Official Ballot, as issued by the Chief Appraiser, stating the vote for candidates for the election of the Board of Directors for the Comal Appraisal District.

ACTION TAKEN this _____ day of _____, 2017, in _____ Session of the governing body of the above mentioned taxing unit; as authorized under Section 6.03 of the Texas Property Tax Code for the purpose of casting votes to elect the Board of Directors of the Comal Appraisal District.

ATTEST:



2018-2019

BOARD OF DIRECTORS

NOMINATIONS

The nominees for the upcoming 2018-2019 Comal Appraisal District Board of Directors are as follows:

Wade Cleary

Dan Krueger

John D. Kunz

Randal (Randy) P. Maschek

Nancy Pappas

John Tyler

Wade Cleary, PE, LEED® AP

Managing Principal, Cleary Zimmermann Engineers

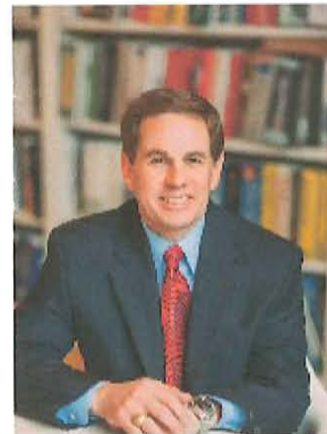
Wade Cleary, PE, managing principal of Cleary Zimmermann Engineers, is no stranger to leadership both professionally or in the community. He is involved and holds leadership positions not only locally in New Braunfels with his church, homeowner's association, and Comal ISD schools, but in the greater San Antonio area and across Texas. Wade graduated from Texas A&M University in 1994 with a B.S. in Mechanical Engineering, and upon joining Marmon Mok Architecture after graduation, worked his way up to become Principal of the Engineering Division. Following a reorganization of the firm in 2006, Wade Cleary founded Cleary Zimmermann Engineers, a consulting engineering firm specializing in mechanical, electrical and plumbing (MEP) building systems. A Comal County resident for over 20 years, Wade lives in the Riverforest neighborhood with his wife Jennifer and their family. Their son Hunter is a sophomore at Texas A&M University and their daughter Caitlyn attends Canyon High School.

► NEW BRAUNFELS

- Active Member of First United Methodist Church
 - Former Secretary of Staff, Parish Relations Committee
 - Former Secretary of the Administrative Council
- Riverforest Home Owner's Association
 - Former President
- Active Member of the Canyon Aristocat Parent Association
- Active Involvement with Comal Education Foundation
- Former Comal ISD Citizens Bond Committee Member
- Comal County Appraisal District Board Vice Chairman
- Former Spring Branch Volunteer Fire Fighter
- Former Upwards Basketball Coach
- Former Little League Coach
- Former President of Pinnacle Home Owner's Association

► SAN ANTONIO AREA

- Northside Education Foundation
 - Currently serving as Immediate Past President
- North San Antonio Chamber of Commerce
 - Former Executive Board Small Business Council Chair
- Bond Oversight Committee member for Northside ISD's 2014 Bond Program
- Frequent Science Fair Judge for Northside ISD
- San Antonio Stock Show & Rodeo Grounds and Security Committee member and Life Member
- Former President of the Governor's Club



Education

Bachelor of Science, Mechanical Engineering, Texas A&M University

Years with the Firm

11 years

Registrations/Certifications

Registered Professional Engineer in TX, #84606

LEED® AP

City of Residence

New Braunfels, TX



DAN K. KRUEGER

PERSONAL:

- Married to love of my life Becky Lynn for 44 years, 3 wonderful daughters and 2 super son-in-laws, 4 fun grandkids (2 each)
- Thrall High School (played and lettered in football, baseball, track and basketball)
- Played for a semi-pro baseball team (Noack Bears)
- Blinn Jr. College (AA degree) and attended The University of Texas
- Worked for HEB & State of Texas while going to college, also managed apartment complexes
- State of Texas part time job became a full time for 12 years
- Prior to my career with the Hobart Corporation, I worked as an independent rep
- Garnering many awards for marketing and sales, I retired from Hobart after 25 years
- Absolutely love to volunteer and help others
- Golf is fun, but I excel at gardening
- Did a video clip for NBU on rainwater harvesting
- Teach classes on composting (Certified Compost Specialist)
- Started a gardening center for special need students (Texas Master Gardeners deemed it 1st place statewide)

CURRENT COMMUNITY INVOLVEMENT:

- Comal Appraisal District, Board of Trustees - 2010 - 2017 (currently Board Chairman)
- Wursthfest Association, Board President - 2017
- Comal Public Education Foundation, Board of Trustees - 2004-2017 (currently Board Secretary)
- The Center for Entrepreneurship (Spark Center), Board of Trustees - 2006-2017
- Friends of Landa Park, Board Member - 2012 - 2017
- St. Paul Lutheran Church, Personnel Board - 2008-2012 (current ss leader)
- Comal Master Gardeners, Executive Board - 2011, 2012 (active presenter & gardener)
- CoCoRaHS (National Weather Service) - 2008-2017
- N.B. Noon Lions Club - 2012 - 2017 (board member)
- Canyon High School, Spotter/assist announcer at football games - 2009 - 2017

PAST COMMUNITY INVOLVEMENT:

- 15 years on the CISD Board of Trustees (1994-2009), Served all executive offices, 8 years as Board President.
- Protect Lake Dunlap Board of Trustees - 2009 - 2011
- I have worked with many civic & charitable organizations in the past, will provide extensive list if interested.



JOHN D. KUNZ

John D. Kunz has resided and served the New Braunfels community for 25+ years. In the past, he has served as a board member for the Comal Foundation Scholarship, Canyon High School Athletic Booster, and American Subcontractors Association. He is particularly selective which boards he will participate so that he will be focused, energized, and supportive to be a positive asset for a board/organization. He is the CEO of a thriving and successful concrete contractor company for 20+ years.

John has an amazing, supportive family, including his wife and four children. Three of our children are attending college, while the oldest has graduated college and recently became engaged. He firmly believes he would not be where he would be now without family, friends, and business associates that have encouraged and challenged him to reach his personal goals in life.

John Kunz proudly served the U.S. Marine Corps. He is a member of New Braunfels Chamber of Commerce, American Society of Concrete Contractors and Ducks Unlimited Organization. He is an avid supporter to the Junior Livestock Auction and the local 4-H Club annually for many years.



RANDALL (RANDY) P. MASCHEK

Randall (Randy) P. Maschek served 30 years active duty in the US Army and retired as a Colonel in 2005. He was an Army Medical Service Corp officer and aeromedical evacuation aviator who fell in love with Texas, building a home in Garden Ridge in 2005. Randy continued to work as an Army Health Care Information Systems Analyst in pursuit of a digitized health care record for the battlefield until his final retirement in January 2016. He has been a Commissioner on the Comal County Emergency Service District No 6 for the past 7 years and served on the Comal County Appraisal Board for the past 5 ½ years. Randy has been actively involved in the Garden Ridge Lions Club for the past 9 years. Additionally, during the months of February through April 15th of each year, Randy spends 3 or 4 days a week volunteering with AARP preparing free tax returns for Texans. He received a BS in Biology from Loyola University of Chicago many years ago and while on active duty he earned a Masters in Systems Management from the University of Southern California. Randy is also a graduate of the Army War College in Carlisle Pennsylvania and the Command and General Staff College in Leavenworth Kansas.



NANCY PAPPAS

Nancy Pappas is the Managing Director of NBU's Headwaters at the Comal which has become an environmental showcase where people can experience history and nature in New Braunfels. She has been employed by New Braunfels Utilities since December 2016.

Prior to the Headwaters project, Nancy was the owner of a non-profit consulting group working for organizations focused primarily on creating healthier communities. Currently, she serves as the President of the Comal Trails Alliance, an elected member of the Comal Appraisal District Board, a former Comal Independent School District School Trustee and a lifetime Texas PTA member.

She is a graduate of Emory University with a Bachelor of Arts degree in Economics. In her free time, Nancy she likes to work in her yard, read, or go on road trips with her family to hike and enjoy the great outdoors.



JOHN TYLER

John Tyler currently serves on the Appraisal Districts Board Directors after joining in the board in early 2017. Mr. Tyler is a graduate of Texas Tech University and is a professional engineer specializing in transportation related projects. He is active in the community serving on several STEM and education related boards and outreach organizations. A Texas native he has lived in Central Texas most of his life. Mr. Tyler currently resides with his family in Bulverde.

RESOLUTION NO. 2017-R

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS TO CAST FOUR HUNDRED FIFTY SIX (456) VOTES TOWARD THE ELECTION OF A MEMBER OF THE COMAL APPRAISAL DISTRICT BOARD OF DIRECTORS.

WHEREAS, the City Council of the City of New Braunfels has been advised by the Chief Appraiser of the Comal Appraisal District, that the City has been allocated a total of FOUR HUNDRED FIFTY SIX (456) votes which may be cast, all or in part for their candidate(s) of choice, for the Board of Directors, Comal Appraisal District.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

THAT the City of New Braunfels, Texas hereby casts a total of FOUR HUNDRED FIFTY SIX (456) votes toward the election of member(s) of the Comal Appraisal District Board of Directors as follows:

CANDIDATE	VOTES
Wade Cleary	_____
Dan Krueger	_____
John Kuntz	_____
Randy Maschek	_____
Nancy Pappas	_____
John Tyler	_____

FURTHER, that the City Council of the City of New Braunfels submits the Official Ballot, attached hereto, as issued by the Chief Appraiser, stating the vote for candidates for the election of the Board of Directors for the Comal Appraisal District for 2018-2019.

PASSED, ADOPTED AND APPROVED this 13th day of November, 2017.

CITY OF NEW BRAUNFELS

BY: _____
Barron Casteel, Mayor

ATTEST:

Patrick Aten, City Secretary

11/13/2017

Agenda Item No. E)

Presenter/Contact

Patrick Aten, City Secretary
(830) 221-4010 - paten@nbtexas.org

SUBJECT:

Discuss and consider approval of a resolution to cast 102 votes toward the election of a member of the Guadalupe Appraisal District Board of Directors.

BACKGROUND / RATIONALE:

Sec. 6.03(k) of the Texas Tax Code requires that each taxing unit eligible to vote for an appraisal district's board of directors adopt a resolution to cast a ballot for the candidate(s) of its choice. This year the City Council is entitled to cast 102 votes for the candidates listed on the attached ballot.

There is a total of 5,000 votes within Guadalupe County.

Current Directors are:

- Dr. Greg Gilcrease, Chair
- Darren Dunn, Vice-Chair
- Tavie Murphy, Secretary
- Louis Ramirez, Sr.
- Edward Finley, Jr.

Candidates are:

- Dr. Greg Gilcrease
- Darren Dunn
- Daryl John
- Ben Amador
- John C. Correu

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

N/A

RESOLUTION NO. 2017-R

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS TO CAST ONE HUNDRED TWO (102) VOTES TOWARD THE ELECTION OF A MEMBER OF THE GUADALUPE APPRAISAL DISTRICT BOARD OF DIRECTORS.

WHEREAS, the City Council of the City of New Braunfels has been advised by the Chief Appraiser of the Guadalupe Appraisal District, that the City has been allocated a total of ONE HUNDRED TWO (102) votes which may be cast, all or in part for their candidate(s) of choice, for the Board of Directors, Guadalupe Appraisal District.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

THAT the City of New Braunfels, Texas hereby casts a total of ONE HUNDRED TWO (102) votes toward the election of member(s) of the Guadalupe Appraisal District Board of Directors as follows:

CANDIDATE	VOTES
Dr. Greg Gilcrease	_____
Darren Dunn	_____
Daryl John	_____
Ben Amador	_____
John C. Correu	_____

FURTHER, that the City Council of the City of New Braunfels submits the Official Ballot, attached hereto, as issued by the Chief Appraiser, stating the vote for candidates for the election of the Board of Directors for the Guadalupe Appraisal District for 2018-2019.

PASSED, ADOPTED AND APPROVED this 13th day of November, 2017.

CITY OF NEW BRAUNFELS

BY: _____
Barron Casteel, Mayor

ATTEST:

Patrick Aten, City Secretary

11/13/2017

Agenda Item No. F)

Presenter/Contact

Garry Ford, City Engineer
(830) 221-4020 - gford@nbtexas.org

SUBJECT:

Discuss and consider approval of the installation of speed humps on Quail Ridge between Roadrunner Avenue and West Klein Road.

BACKGROUND / RATIONALE:

Council District: 2

Citizens submitted a request for the installation of speed humps on Quail Ridge between Roadrunner Avenue and West Klein Road. Quail Ridge functions as a residential street and provides direct access to residential properties.

The request was evaluated based on petition, operational and geometric requirements established in the City of New Braunfels Speed Hump Policy approved in 1999. These requirements are listed in the attachment to this report.

The request for speed humps on Quail Ridge between Roadrunner Avenue and West Klein Road does not meet the eligibility requirements because the 24-hour traffic volume is not at least 800 vehicles (measured 24-hour traffic volume of 273 vehicles).

If the request is approved, the street will be placed on the list of streets eligible for speed hump installation for up to three years. Speed hump projects will be prioritized according to the criteria established in the Speed Hump Policy. The Speed Hump Policy also states that the alteration or removal of speed humps requires the same petition process as the installation request, with at least two-thirds of all adjacent households and businesses in favor of speed hump removal. The city will not provide any funding for the removal of speed humps if it is requested.

Funding

The City has specific funding for the installation of speed humps. This is the third speed hump request for the FY 2017-2018 budget and there is adequate funding for the speed hump request.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

2006 Comprehensive Plan: Transportation Goal 21: Provide a system of convenient and safe transportation facilities through comprehensive, cooperative and continuing transportation system planning and development.

FISCAL IMPACT:

Speed hump installation cost including speed cushions and signing for one set of speed humps costs approximately \$14,000 to \$18,000 depending on location.

COMMITTEE RECOMMENDATION:

This item was considered and unanimously not approved by the Transportation and Traffic Advisory Board at their meeting on October 12, 2017.

STAFF RECOMMENDATION:

Staff does not recommend approval of speed humps on Quail Ridge between Roadrunner Avenue and West Klein Road as it does not meet the speed eligibility criteria established in the Speed Hump Policy.

Petition

Requirement		Satisfied?
1.	A petition from the residents and business owners documenting that at least two-thirds support the installation of speed humps.	Yes
2.	Verification statement from contact person confirming signatures are valid and represent at least two-thirds support.	Yes
3.	A statement from the neighborhood association endorsing speed hump installation.	N/A

Operational and Geometric Characteristics of the Street

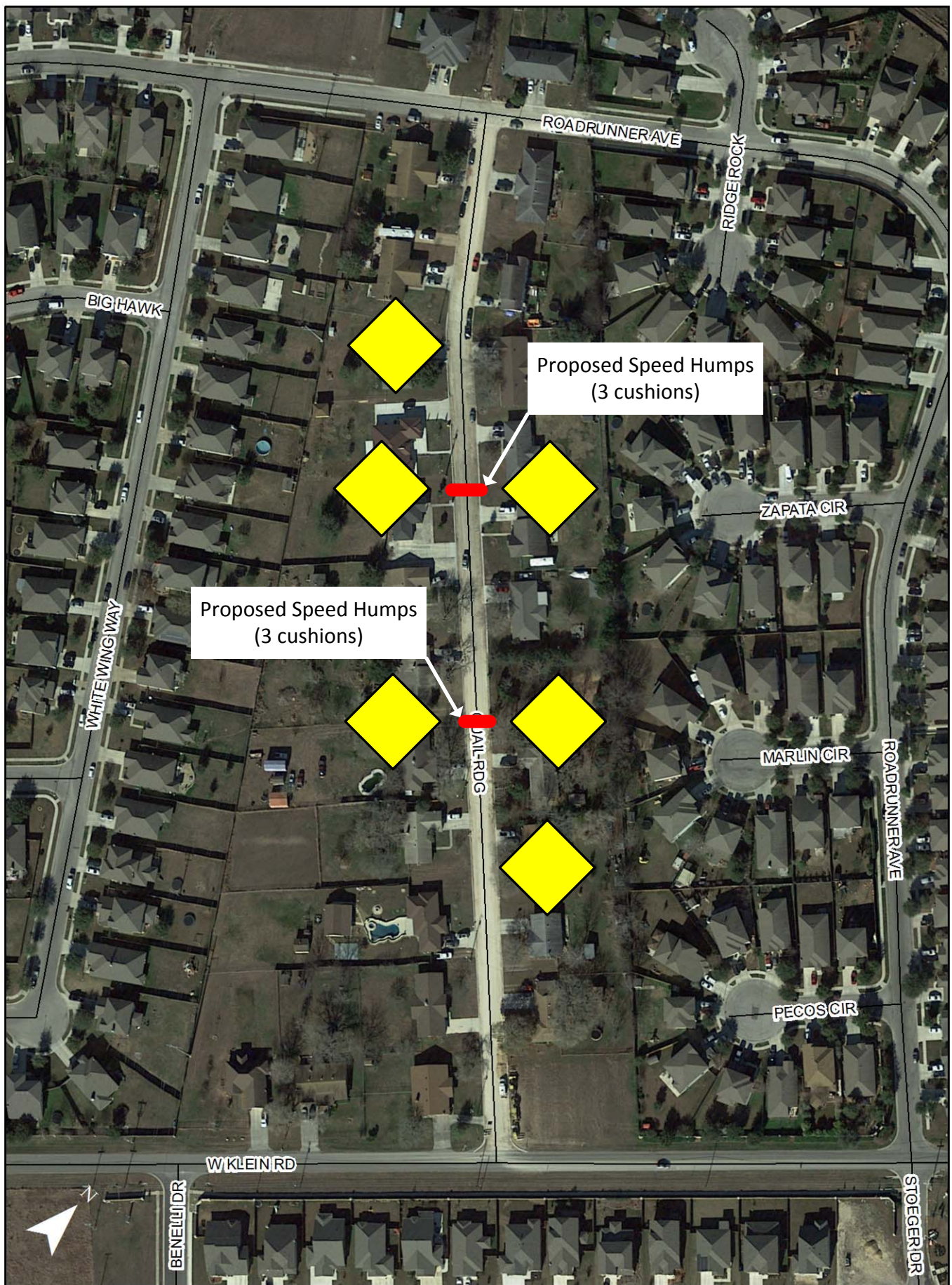
Requirement		Satisfied?
1.	The street shall provide access to abutting residential and/or commercial properties.	Yes
2.	The street shall not have more than one lane of traffic in each direction.	Yes
3.	The street shall have a regulatory speed limit of 30 mph or less as determined in accordance with State Law.	Yes: 20 mph ^a
4.	The 85 th percentile speed on the street must be at least 35 mph or 5 mph over the regulatory speed limit.	Yes: 30 mph
5.	The speed humps should not be located on a horizontal curve, on vertical curves where visibility of the hump is restricted, or on approaches to these curves.	Yes
6.	The street should have curb and gutter. Considerations may be given to street without curb and gutter to accommodate drainage and prevent vehicle run-arounds.	Yes
7.	The street must be approved by the emergency services departments.	Yes ^b
8.	The street must have a 24-hour traffic volume of at least 800 vehicles.	No: 273 vpd average

^a Speed limit was approved by Guadalupe County prior to annexation and is not listed in the New Braunfels Code of Ordinances.

^b Parking may be restricted at speed hump locations to maintain emergency response.

Project Prioritization Criteria

Criteria		Points Assigned
1. Accident	0 reported crashes over a period of 3 consecutive years	0
2. Speed	10 mph difference between 85 th percentile speed and regulatory speed limit	6
3. Traffic Volume	Two-way peak hour volume of 22 vph	0
4. Type of Neighborhood	School within a ½ mile radius of the project street	1
Total:		7



Proposed Speed Hump and Sign Locations on Quail Ridge

11/13/2017

Agenda Item No. G)

Presenter/Contact

Garry Ford, P.E., City Engineer
(830) 221-4020 - gford@btexas.org

SUBJECT:

Discuss and consider approval of a resolution for the determination of right-of-way, alignment and access of the Major Collector in the City of New Braunfels Regional Transportation Plan located between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road.

BACKGROUND / RATIONALE:

Staff reviewed the right-of-way, alignment and access requirements on the Major Collector located between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road. The review is associated with the S. Solms Road/Morningside Drive capital improvement project and the Morningside Trails Subdivision Master Plan.

The City of New Braunfels Regional Transportation Plan (RTP) approved by City Council on March 12, 2012, includes a major collector extending south from S. Solms Road from Morningside Drive to Green Valley Road. The RTP provides a long term vision of the major street network necessary to meet future travel needs. A major collector is a roadway that provides a high degree of access and is intended to move traffic between local and arterials streets and other collectors. Major collectors include up to four lanes and have a right-of-way width of up to 90 feet.

The Major Collector segment is approximately 6,800 feet between Morningside Drive and Green Valley Road. The segment includes an intersection with the extension of W. County Line Road which is designated as a minor arterial. The proposed thoroughfare segment runs perpendicular to IH 35 and provides cross access with Engel Road, Ron Road, the Rueckle Road extension and FM 1044. The proposed segment is located in a rural area and on two residential properties. The future construction of the thoroughfare will impact the existing residential properties and require the city to purchase right-of-way.

The intersection of S. Solms Road and Morningside Drive, including future thoroughfare connectivity and local access, were evaluated as part of the capital improvement project. The preferred and planned intersection includes a roundabout intersection that provides: the removal of a 90 degree turn to a standard curve based on design speed; traffic calming near school, park and residential neighborhoods; access for the adjacent church and existing homes; minimized right-of-way needs; and, feasible thoroughfare connectivity through open property. The street design for the project includes two travel lanes in each direction, a center turn lane, bike lanes and sidewalks.

The Morningside Trails Subdivision was developed to accommodate the major collector in addition to the extension of W. County Line Road. The subdivision was designed to not allow driveway access

for one and two-family residential homes on the collector. It is generally standard practice and proper transportation planning to not front residential homes on collector streets as they are intended to “collect” traffic from local streets to arterials and other collectors at higher traffic volumes and speeds. The Platting Code currently allows homes to front and backing maneuvers onto collector streets; however, this practice oftentimes presents traffic safety problems, high traffic volumes and speeding issues for residents living on the collector.

The standard right-of-way established for major collectors is 90 feet. This allows for a four-lane urban divided roadway with sidewalks. The proposed right-of-way for this segment is a three-lane section with bike lanes and sidewalks. The proposed street section is in context with the proposed residential neighborhood and closely matches the street section on Morningside Drive and S. Solms Road. Furthermore, the section aligns and matches the new roundabout intersection. The proposed section includes 10’ travel lanes in order to design for slower speeds in a residential area.

The proposed three-lane section can typically serve up to 15,000 daily vehicles at an acceptable level of service depending on intersection operations. The Morningside Trails Subdivision is planned with 444 single family residential units and 15,000 square foot of retail. Based on the traffic impact analysis prepared by the developer, the anticipated daily trips are 4,846. Therefore, a collector segment is required by the demands of the development in addition to inclusion on the thoroughfare plan. The collector segment would also provide capacity for an additional 10,000 daily trips with future development of the surrounding area and the connection to W. County Line Road as long as there is no driveway access to residential units. The thoroughfare roadway that is planned to carry regional trips is the Rueckle Road parkway extension.

Based on Morningside Drive/S. Solms Road capital project, future land use, constraints, traffic activity and context of the residential area, the recommended right-of-way is 60 feet; the alignment of the major collector is adjusted to the proposed roundabout intersection and approximately 400 feet east; and driveway access shall not be allowed to the collector.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

2006 Comprehensive Plan: Objective 22J: The City should implement the adopted Thoroughfare Plan to develop a balanced roadway network that includes arterial streets and collector streets. As further development occurs, ensure that provision and adequate arterial, collector and local streets that serve to provide traffic access and circulation and are functionally integrated with the existing arterial and collector street system.

FISCAL IMPACT:

N/A

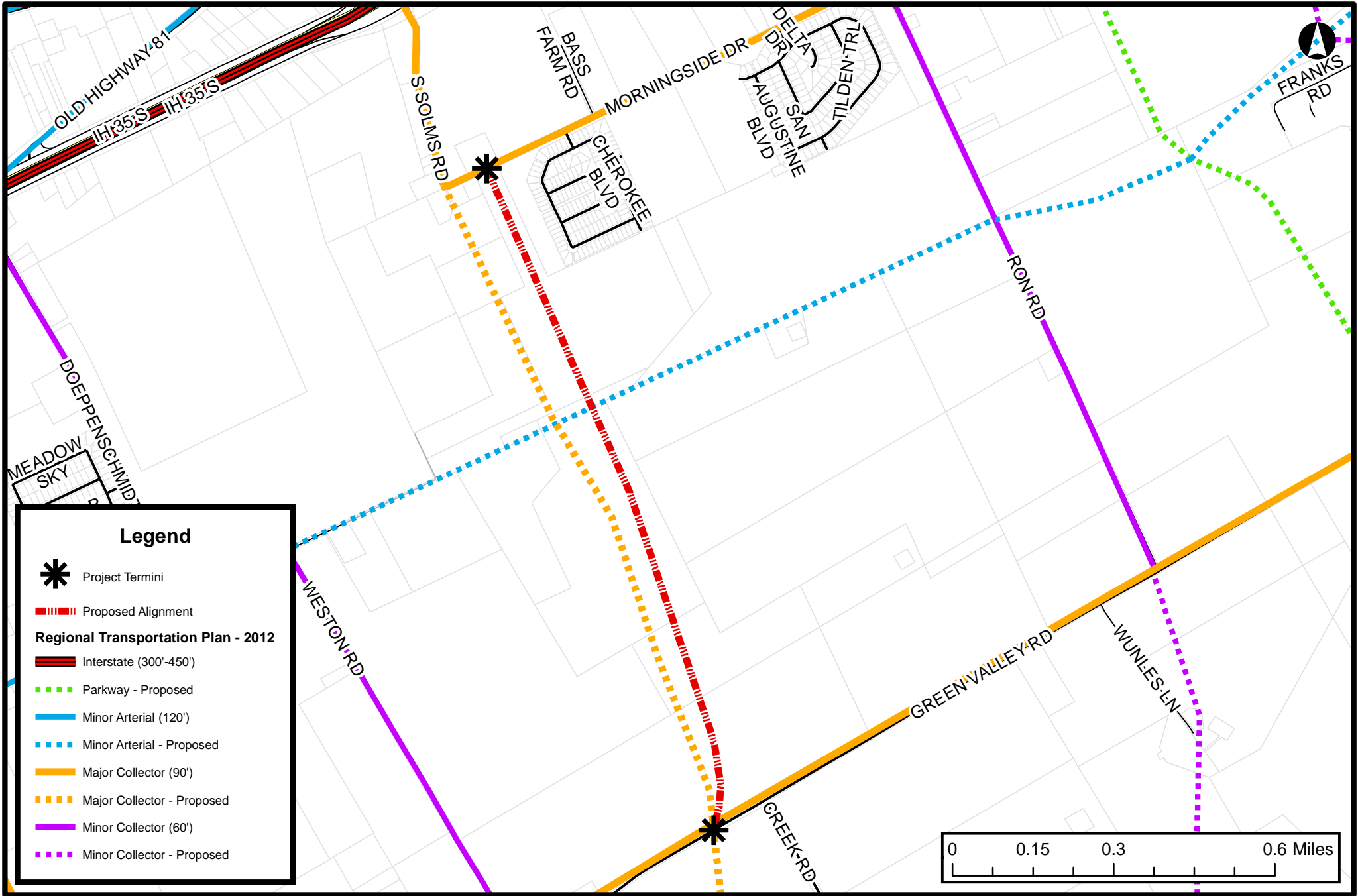
COMMITTEE RECOMMENDATION:

On October 4, 2017, the Planning Commission made a recommendation of approval regarding the right-of-way determination. (9-0-0)

STAFF RECOMMENDATION:

For the Major Collector located between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road, staff recommends establishing a right-of-way width of 60 feet; alignment be adjusted approximately 400 feet east to the proposed intersection with Morningside Drive and S. Solms Road associated with the 2013 Bond roadway project; and, that

driveway access for one and two-family residential units or require backing maneuvers shall not be allowed.



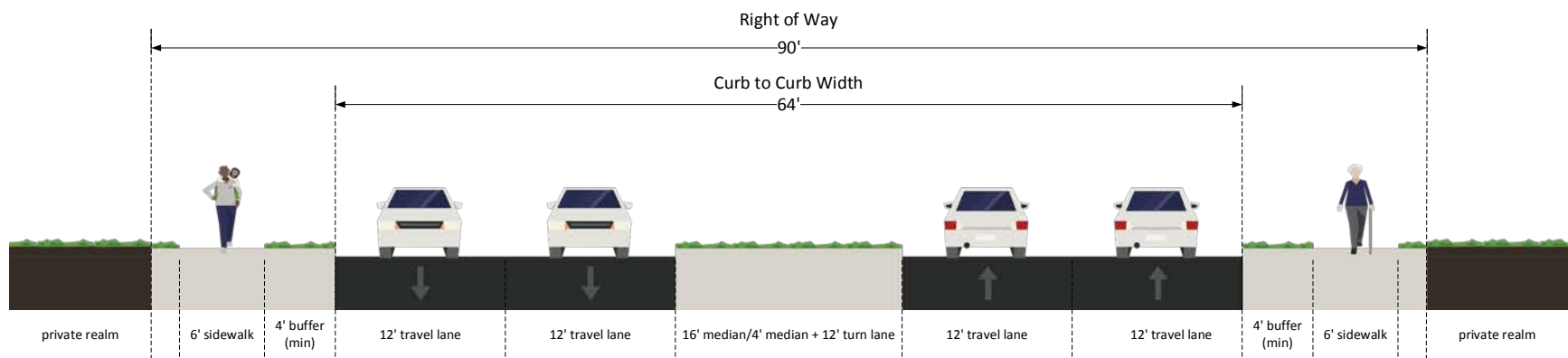


Figure 1 - Major Collector, General Context Area, 4 Lanes with Median/Left Turn Lane

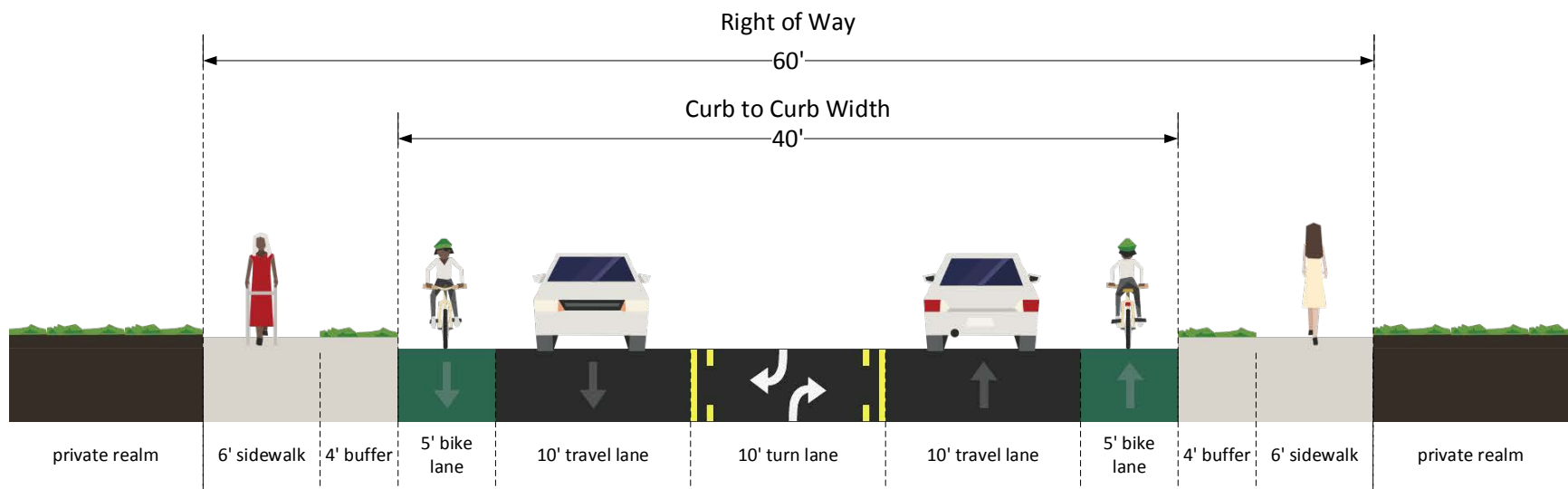
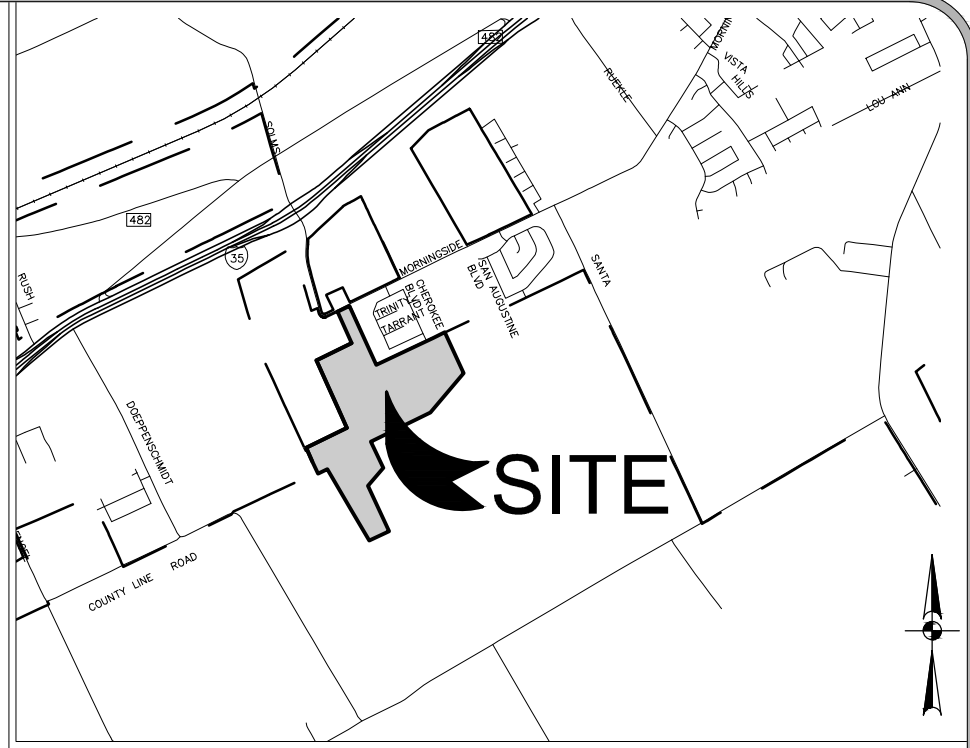


Figure 2 - Major Collector, Residential Context Area, 3 Lanes with Bike Lanes

MASTER PLAN FOR
MORNINGSIDE TRAILS SUBDIVISION



LOCATION MAP
SCALE: NTS

- NOTES:
1. ALL LOTS WITHIN THE SUBDIVISION WILL BE PROVIDED WATER AND SEWER SERVICE BY NEW BRAUNFELS UTILITIES. ELECTRIC SERVICES WILL BE PROVIDED BY NEW BRAUNFELS UTILITIES. TELEPHONE AND CABLE SERVICES WILL BE PROVIDED BY AT&T COMMUNICATIONS AND/OR SPECTRUM.
 2. THIS SUBDIVISION IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
 3. THIS SUBDIVISION IS WITHIN THE EXTRATERRITORIAL JURISDICTION LIMITS OF NEW BRAUNFELS, TEXAS.
 4. THE SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
 5. NO PART OF THIS SUBDIVISION IS IN THE FLOODPLAIN.
 6. FUTURE DEVELOPMENT WITHIN THIS MASTER PLAN IS SUBJECT TO CHAPTER 114 (STREETS, SIDEWALKS AND OTHER PUBLIC SPACES) OF THE NEW BRAUNFELS CODE OF ORDINANCES.
 7. THIS SUBDIVISION IS SUBJECT TO THE CITY OF NEW BRAUNFELS PARK LAND DEDICATION AND ORDINANCE. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED, THE OWNER OF THE LOT SHALL CONTACT THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH NEW DWELLING UNIT.
 8. 4' SIDEWALKS WILL BE CONSTRUCTED ADJACENT TO BACK OF CURB PER CITY STANDARDS BY THE OWNER AT THE TIME OF HOME CONSTRUCTION ALONG ALL INTERNAL STREETS AND SIDEWALKS FOR NON-RESIDENTIAL LOTS WILL BE CONSTRUCTED ADJACENT TO BACK OF CURB PER CITY STANDARDS BY THE DEVELOPER AT THE TIME OF DEVELOPMENT. 6' SIDEWALKS WILL BE CONSTRUCTED ALONG THE 60' RIGHT-OF-WAY COLLECTOR ROAD ADJACENT TO THE COMMERCIAL TRACT. A 4' SIDEWALK WILL BE CONSTRUCTED ALONG THE 60' RIGHT-OF-WAY COLLECTOR ROAD ADJACENT TO RESIDENTIAL LOTS. THE SIDEWALK ALONG MORNINGSIDE DRIVE WILL BE CONSTRUCTED BY THE CITY OF NEW BRAUNFELS AT THE TIME OF THE SOLMS RD/MORNINGSIDE DR/RUECKLE RD RECONSTRUCTION PROJECT.
 9. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983, GRID. DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00015.
 10. CONTOUR LINES SHOWN HEREON WERE SCALED AND INTERPOLATED FROM COMAL COUNTY GIS CONTOURS.
 11. TRAFFIC CALMING MEASURES TO BE INCORPORATED ALONG

- NEW BRAUNFELS UTILITIES NOTES:
- MAINTENANCE OF DEDICATED UTILITY EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY USE OF AN EASEMENT, OR ANY PORTION OF IT, INCLUDING LANDSCAPING OR DRAINAGE FEATURES, IS SUBJECT TO AND SHALL NOT CONFLICT WITH THE TERMS AND CONDITIONS IN THE EASEMENT. MUST NOT ENDANGER OR INTERFERE WITH THE RIGHTS GRANTED BY THE EASEMENT TO NEW BRAUNFELS UTILITIES, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE SUBJECT TO APPLICABLE PERMIT REQUIREMENTS OF THE CITY OF NEW BRAUNFELS OR ANY OTHER GOVERNING BODY. THE PROPERTY OWNER MUST OBTAIN, IN ADVANCE, WRITTEN AGREEMENT WITH THE UTILITIES TO UTILIZE THE EASEMENT, OR ANY PART OF IT.
 - UTILITIES WILL POSSESS A 5' WIDE SERVICE EASEMENT TO THE DWELLING ALONG THE SERVICE LINE TO THE SERVICE ENTRANCE. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING AND SERVICE.
 - UTILITIES SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARD AND METER LOCATIONS SHALL NOT BE LOCATED WITHIN A FENCED AREA.
 - EACH LOT MUST HAVE ITS OWN WATER AND SEWER SERVICE AT THE OWNER'S/DEVELOPER'S EXPENSE.
 - DO NOT COMBINE ANY NEW UTILITY EASEMENTS (U.E.) WITH DRAINAGE EASEMENTS (D.E.) OR MAKE CHANGES IN GRADE WITHIN THE UTILITY EASEMENTS (U.E.) WITHOUT WRITTEN APPROVAL FROM NEW BRAUNFELS UTILITIES.
 - EACH TRACT IS SUBJECT TO FLOATING GUY WIRE EASEMENT(S) AND ITS DIMENSIONS SHALL BE DETERMINED BY THE NEED OF THE UTILITIES.

OWNERS:
FAIR OAKS MOSAIC TBY, LLC
TOM YANTIS - AUTHORIZED AGENT
1802 NW MILITARY DR., SUITE 100
SAN ANTONIO, TEXAS 78213

SA SCARECROW, LLC
TOM YANTIS - AUTHORIZED AGENT
1802 NW MILITARY DR., SUITE 100
SAN ANTONIO, TEXAS 78213

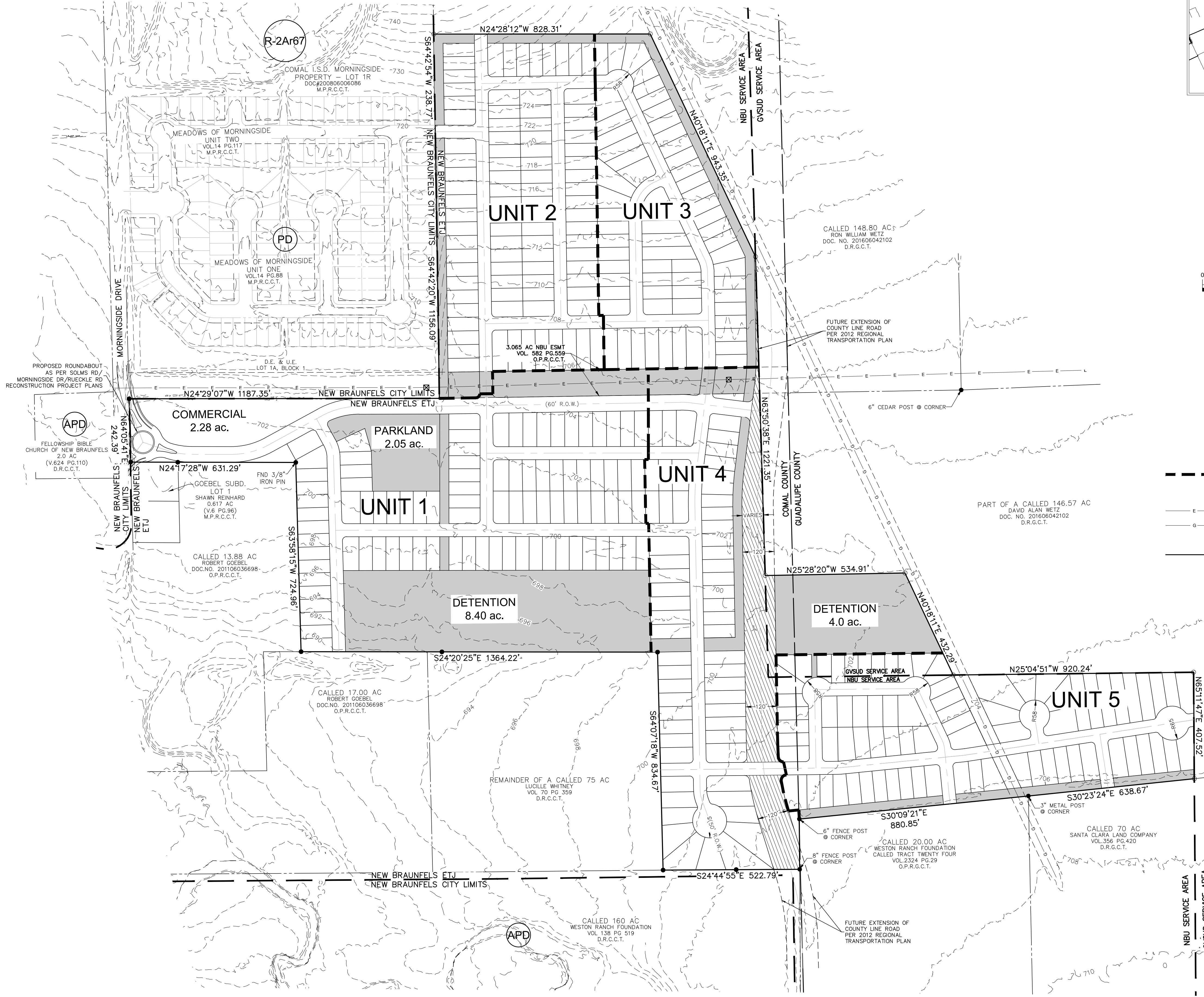
DEVELOPER:
MOAIC LAND DEVELOPMENT
TOM YANTIS - AUTHORIZED AGENT
1802 NW MILITARY DR., SUITE 100
SAN ANTONIO, TEXAS 78213

ENGINEER/SURVEYOR:
HMT ENGINEERING AND SURVEYING
410 N. SEQUIN AVE.
NEW BRAUNFELS, TX 78130
PH: (830) 625-8555

PREPARED DATE OCTOBER 27, 2016
REVISED DATE NOVEMBER 22, 2016
REVISED DATE DECEMBER 28, 2016



410 N. SEQUIN AVE.
NEW BRAUNFELS,
TEXAS 78130
WWW.HMTNB.COM
PH: (830) 625-8555
TBPE FIRM F-10961
TBPLS FIRM 10153600



- LEGEND:**
- M.P.R.C.C.T. = MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS
 - O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS
 - O.P.R.G.C.T. = OFFICIAL PUBLIC RECORDS, GUADALUPE COUNTY, TEXAS
 - D.R.G.C.T. = OFFICIAL PUBLIC RECORDS, GUADALUPE COUNTY, TEXAS
 - XX = ZONING TYPE
 - = PARKLAND/DRAINAGE AREAS
 - = UNIT/PHASE BOUNDARY
 - = R.O.W. DEDICATION
 - = EXISTING OVERHEAD ELECTRIC LINES
 - = EXISTING GAS LINES
 - = EXISTING ELECTRIC TOWER
 - = COMAL COUNTY/GUADALUPE COUNTY LINE
 - = FND 1/2" IRON PIN UNLESS OTHERWISE NOTED
 - = SET 1/2" IRON PIN UNLESS OTHERWISE NOTED

LOT SUMMARY		
	ACREAGE	# OF RESIDENTIAL LOTS
UNIT 1	34.93	104
UNIT 2	18.77	105
UNIT 3	13.86	74
UNIT 4	24.32	69
UNIT 5	18.69	92
TOTAL AC/LOTS	110.57	444

LOT DENSITY = 4.01 UNITS PER ACRE (RESIDENTIAL)

RESOLUTION NO. 2017-____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS, ESTABLISHING THE RIGHT-OF-WAY, ALIGNMENT AND ACCESS OF THE MAJOR COLLECTOR IN THE CITY OF NEW BRAUNFELS REGIONAL TRANSPORTATION PLAN BETWEEN S. SOLMS ROAD, MORNINGSIDE DRIVE, THE FUTURE EXTENSION OF W. COUNTY LINE ROAD AND GREEN VALLEY ROAD.

WHEREAS, on March 12, 2012, the City Council of the City of New Braunfels adopted the City of New Braunfels Regional Transportation Plan as the thoroughfare plan; and

WHEREAS, the City of New Braunfels Regional Transportation Plan designated Major Collector thoroughfares requiring up to 90 feet of right-of-way; and

WHEREAS, the City of New Braunfels Regional Transportation Plan shows a Major Collector between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road; and

WHEREAS, the City of New Braunfels S. Solms Road and Morningside Drive 2013 Bond roadway improvement project and the Morningside Trails subdivision master plan were designed to accommodate the realignment of the Major Collector to minimize the impact of adjacent property owners; and

WHEREAS, the Major Collector right-of-way is established at 60 feet with 40 feet of pavement to include 10-foot travel lanes, 5-foot bike lanes and 6-foot sidewalks in context with the residential and school area; and

WHEREAS, the driveway access to the Major Collector shall not be permitted for parking or loading areas that require backing maneuvers in the Major Collector; and

WHEREAS, the Planning Commission and City staff recommend that the Major Collector be realigned to the City project and Morningside Trails master plan, right-of-way established at 60 feet and driveway access not be permitted that require backing maneuvers in the right-of-way.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:

THAT, the Major Collector in the Regional Transportation Plan between S. Solms Road, Morningside Drive, the extension of W. County Line Road and Green Valley Road be realigned to the City's S. Solms Road and Morningside Drive 2013 Bond roadway improvement project and Morningside Trails subdivision master plan, right-of-way established at 60 feet and driveway access not be permitted that require backing maneuvers in the right-of-way.

PASSED, ADOPTED AND APPROVED this 13th day of November, 2017.

City of New Braunfels, Texas

BARRON CASTEEL, Mayor

Attest:

PATRICK D. ATEN, City Secretary

11/13/2017

Agenda Item No. H)

Presenter

*Christopher J. Looney, Planning & Community Development Director
clooney@nbtexas.org*

SUBJECT:

Discuss and consider a request for a conditional sign permit for a pole sign at the future New Braunfels Emergency Room 24-7 facility addressed at 3221 Commercial Circle.

BACKGROUND / RATIONALE:

Case No.: CS-17-027

Council District: 1

Owner: 35NB LLC
4531 Oleander St.
Bellaire, TX 77401

Applicant: Prince Signs
6931 Signat Dr.
Houston, TX 77041

Staff Contact: Matt Greene, Planner
(830) 221-4053
mgreene@nbtexas.org

Background:

The subject property is located near the northwest corner of the intersection of IH 35 and Loop 337. The property has 223 feet of frontage along the IH 35 access road, 265 feet of frontage along Southwestern Drive and 240 feet of frontage along Commercial Circle. The property is the future home of the New Braunfels Emergency Room 24-7 facility, which is currently under construction.

The property is presently zoned "M-1" Light Industrial District. While New Braunfels' Sign Ordinance includes requirements for signs based on zoning, it also includes limitations and allowances based on the adjacent thoroughfare classifications. Signs on property along main thoroughfares, including IH 35 are granted additional size and heights. Per the City's Sign Ordinance, the allowed signage for this site consists of a maximum of 3 signs:

- two that are either monument or low profile pole, and
- one pole sign

OR the Sign Ordinance would allow one electronic message sign in lieu of all other free-standing signs (see attachments).

Proposal:

The applicant is intending to construct a pole sign at the southeast corner of the subject property adjacent to the IH 35 access road. According to the applicant's plans submitted with this request, they are proposing the sign be 80 feet in height with a 384 square-foot (24 feet wide by 16 feet tall) sign cabinet. This proposed sign would be twice as tall as the maximum sign height allowed for a pole sign adjacent to IH 35 at this location (40-foot maximum), but is 16 square feet **less** than the maximum area of 400 square feet allowed.

The applicant states the additional height requested is needed, as a compliant sign may not be visible from IH 35. The applicant has not indicated whether additional signs are intended for the property, either presently or in the future.

Existing Signs in the Vicinity:

Sign Location	Approximate Height
McDonald's/Pilot on Loop 337	28 feet
Shipley Donuts on Loop 337	35 feet
McDonald's/Pilot on IH 35 Access Rd.	120 feet
Jack in the Box on IH 35 Access Rd.	40 feet
Billboard at Southwestern Ave & IH 35 Access Rd.	42 feet
Bluebonnet Certified Pre-Owned Dealership on IH 35 Access Rd.	40 feet
Billboard at Bluebonnet Certified Pre-Owned Dealership on IH 35 Access Rd.	42 feet
World Car Mazda Dealership on IH 35 Access Rd.	40 feet
World Car Kia Dealership on IH 35 Access Rd. (2 signs)	35 feet
Billboard at World Car Kia Dealership on IH 35 Access Rd.	42 feet
Shell Food Mart on IH 35 Access Rd. at Rueckle Rd.	50 feet

Lot Size:

1.617 acres

Surrounding Zoning & Land Use:

North - M-1 / Jack in the Box

East - Across IH 35, C-3 / Shell Food Mart

South - Across Southwestern Ave., M-1 / Billboard on undeveloped land

West - Across Commercial Cir., M-1 / Undeveloped

Comprehensive Plan / Future Land Use Designation:

Commercial/Industrial

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

N/A

FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

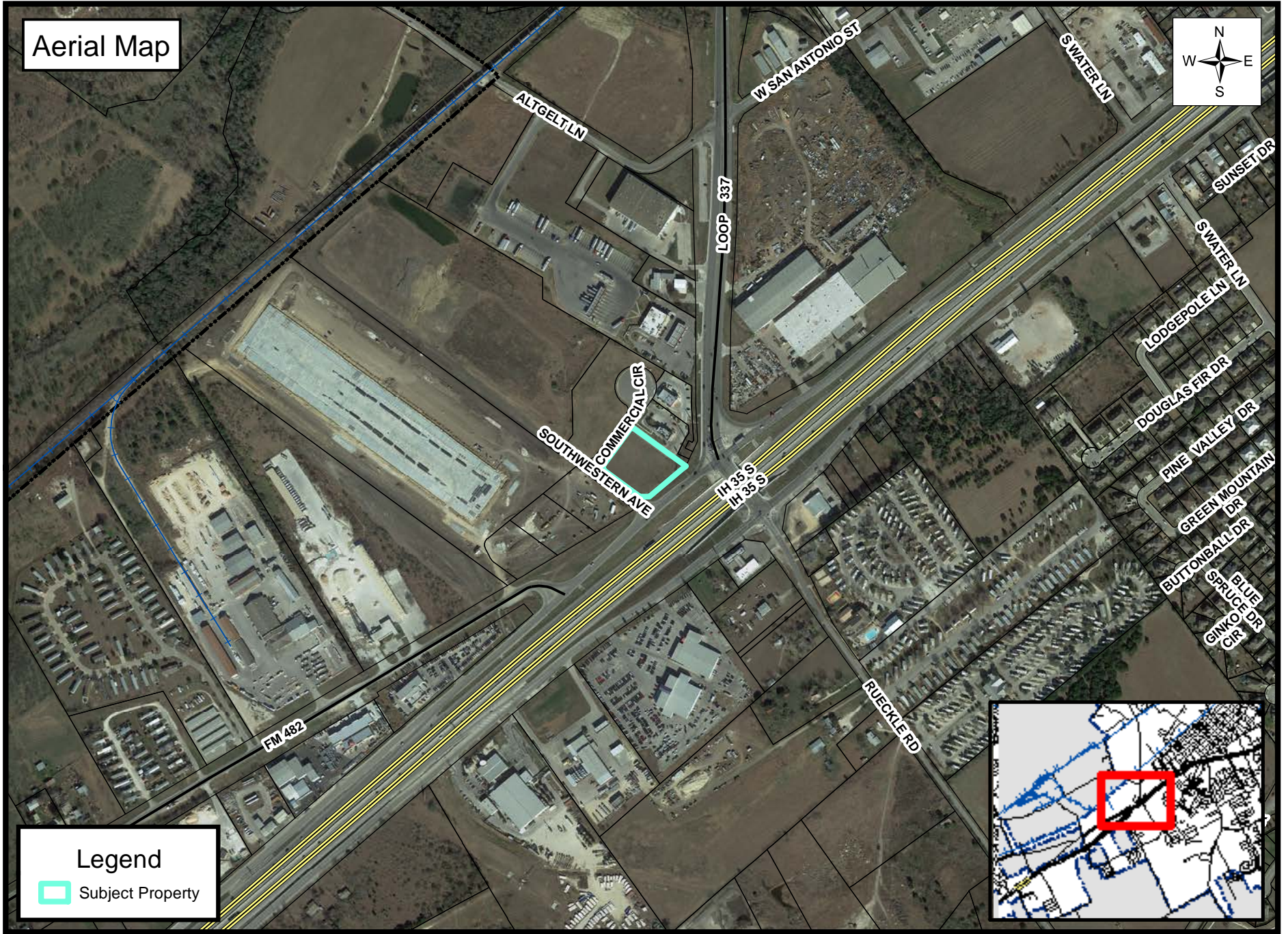
Staff analyzed the location, including visibility from the nearest exits off of IH-35. Albeit those exits are quite a distance away, it appears as though a shorter sign than requested could still be seen from those exits. Therefore, staff does not recommend approval as requested by the applicant. All of the existing non-conforming signs in the area, including the 120-foot tall McDonald's/Pilot sign, were constructed prior to the adoption of the current sign ordinance. Newer developments, such as Shipley Donuts and Jack in the Box, complied with the current sign regulations.

However, should City Council be inclined to approve a conditional sign permit for this site, staff recommends a compromise height in between the applicant's proposed height of 80 feet and the maximum allowed by Code (40 feet) that would be comparable to other nearby signs noted in the table above. Staff would also recommend as a condition to approval that no other freestanding signs be allowed to be added to the site without approval of a new Conditional Sign Permit by City Council.

Attachments:

1. Aerial Map
2. Application
3. Proposed Site Plan
4. Proposed Sign Elevation Plan
5. Comparison Table Showing Allowable Signs Vs. Requested Signs
6. Excerpt from the Sign Ordinance

Aerial Map



Legend

 Subject Property



CS-17-027
3221 Commercial Circle
Conditional Sign Permit

Map Created 10/27/17

Aerial Close-UP Map



Legend

 Subject Property



PLANNING

APPLICATION FOR CONDITIONAL SIGN PERMIT

Planning and Community Development
550 Landa Street, New Braunfels, TX 78130

Phone: (830) 221-4050

Case No. CS-17-027

1. Applicant - If business owner or coordinator of special event, so state. If agent or other relationship, a letter of authorization must be furnished from owner when application is submitted.

Name: TAHER F221

Mailing Address: 6931 SIGMAT DR HOUSTON TX 77041

Email Address: TAHER@PRINCESIGNS.COM

Telephone: 281-345-4488 Mobile: 713-478-9475

2. Property Address/Location: 3221 COMMERCIAL CIRCLE, BRAUNFELS TX

3. Existing signs on property: 0

4. Number of requested signs: 1

5. Dimension & height of sign(s): 16'-0" x 24'-0"

6. Business or event to be advertised: NEW BRAUNFELS EMERGENCY 24-7

7. Reason for request (please explain in detail and attach additional pages if needed):

SINCE THEY ARE CLOSE TO THE FREEWAY A 44 FT TALL
SIGN MAY NOT BE VISIBLE FROM FREEWAY.

8. ATTACHMENTS: (The following items must be submitted with the application)

☒ A \$300.00 application fee.
☒ A scaled site plan showing the proposed location of the sign(s) on the property.
☒ A map showing the distance from sign(s) to business or event if signs are off-premise.
☒ A sketch showing the contents, dimensions and construction materials of the sign(s).
☒ Photographs of the property where the sign(s) will be located.
☐ Agent letter (if applicable).

The undersigned hereby requests a conditional sign permit for the location(s) described above.

Signature of Owner(s)/Agent

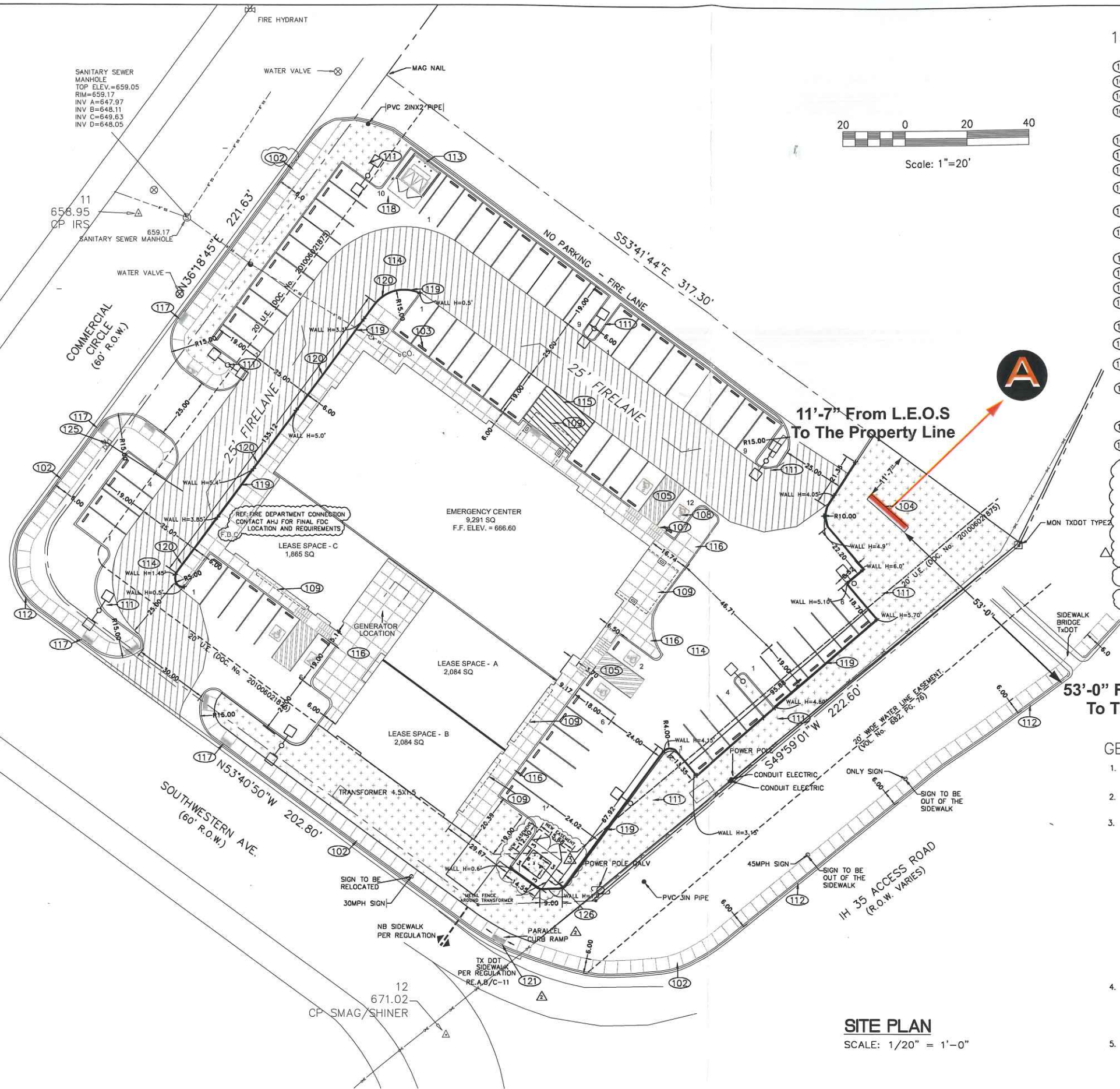
Date

For Office Use Only

Fee Received By: CSamora Amount: 300. Receipt No.: 242816

Date Received: 9-15-17 via Fedex Cash/Check Number: 4483

Council Meeting Date: 11-13-17



100 SITE PLAN NOTES

- 101 CONCRETE PAVING. RE: CIVIL DRAWING
- 102 6" CONCRETE SIDEWALK. NB SITE PLAN DETAILS.
- 103 CONCRETE WHEEL STOP. RE: SITE PLAN DTL.
- 104 PYLON SIGN BY SIGN CONTRACTOR, G.C. TO PROVIDE POWER, COORDINATE AS REQUIRED. PERMIT UNDER SEPARATE CONTRACT BY LICENSED SIGN CONTRACTOR.
- 105 ACCESSIBLE PARKING SIGN. RE: SITE PLAN DTL.
- 106 ACCESSIBLE PARKING. RE: SITE PLAN DTL.
- 107 ACCESSIBLE RAMP. RE: SITE PLAN DTL.
- 108 36" SQUARE INTERNATIONAL ACCESSIBILITY SYMBOL. WHITE LOGO ON BLUE BACKGROUND.
- 109 LINE OF COVERED PORCH ABOVE
- 110 SITE LIGHTING. RE: ELECTRICAL DRAWINGS
- 111 CONCRETE POLE LIGHT BASE. RE: SITE PLAN DETAILS.
- 112 6" CONCRETE CURB.
- 113 DUMPSTER ENCLOSURE. RE: SITE PLAN DTL.
- 114 7 1/4" THICK CONCRETE PAVEMENT WITH #3 REINFORCING BARS @ 15" O.C. EACH WAY, TOP AND BOTTOM, STAGGERED.
- 115 AMBULANCE DOCK
- 116 CONCRETE SIDEWALK
- 117 CONCRETE SIDEWALK RAMP TYPE-1 REF. NB SITE PLAN DETAILS
- 118 DUMPSTER NOTES: THERE MUST BE CANE BOLTS INSTALLED ON THE GATES AND HOLES DRILLED IN THE PAVEMENT TO HOLD THE GATES IN THE FULL OPEN POSITION DURING SERVICE.
- 119 RETAINING WALL. RE: STRUCTURAL DETAILS. S-2.1/9
- 120 HANDRAIL. RE: SITE PLAN DETAILS. C-02/5.6
- 121 PARALLEL CURB RAMP TYPE-2 RE: PED-12A TxDOT
- 122 SIDEWALK BRIDGE TxDOT RE: SDWLKBRG. SAN ANTONIO DISTRICT STANDARD
- 123 METAL SIDEWALK BRIDGE DECK PLAT WILL BE 6 FEET WIDE TO MATCH THE SIDEWALK WIDTH. REF. C-11 TxDOT ARMOR CURB SLOT
- 124 THE ARMORED CURB WILL NEED TO BE FABRICATED TO MATCH THE OPENING WIDTH WHICH IS A NON-STANDARD WIDTH. REF. C-11 TxDOT ARMOR CURB SLOT
- 125 PROPOSED FIRE HYDRANT.
- 126 RELOCATED PROPOSED TRANSFORMER 480/277V.

GENERAL NOTES:

1. ALL EXTERIOR LIGHTING SHALL BE "FULLY SHIELDED AND BE COMPLIANT WITH SECTION 5.3-3 OF THE ZONING ORDINANCE.
2. NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.
3. ALL UTILITY TRENCH COMPACTION TEST WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TEST SHALL BE TAKEN EVERY 100 LF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
4. ANY EXCAVATIONS WITHIN THE EXISTING CITY RIGHT OF WAY, INCLUDING OPEN CUTS, STREET CUTS, AND/OR BORING OPERATIONS REQUIRE THE APPROVAL OF THE STREETS AND DRAINAGE DIVISION MANAGER. SUCH WORK WILL ALSO REQUIRE A ROW EXCAVATION PERMIT IN ADDITION TO ANY BUILDING PERMIT.
5. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.

"NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS"



Design & Drafting

7418 Cove Royale Lane
Richmond, TX 77407
PH: 832-859-0494

NEW BRAUNFELS ER
3221 COMMERCIAL CIR.
NEW BRAUNFELS, TX 78132

SS&C
SARAS STRUCTURAL & CIVIL, LLC
6503 Costa Sierra Lane
Houston Texas 77041 (832) 922-1145
FAX: (713) 896-6385
Firm No. F-10808



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THE DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THE DESIGNER, AND HERE GRANTED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS.

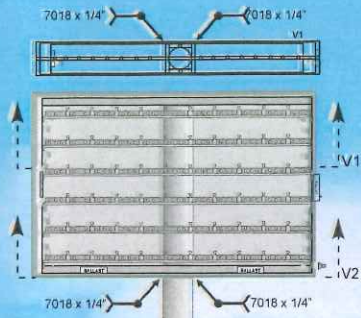
REV.	DESCRIPTION	DATE
1	NB COMMENTS	09-10-16
2	TxDOT COMMENTS	10-21-16
3	TRANSFORMER LOC.	06-08-17

CHECKED BY:	MLR
PROJECT No:	0718
DRAWN BY:	CM
DATE:	07-16-2016

SHEET CONTENTS:
SITE PLAN
C-0
0710-C-00WG



24'-0"
Braunfels
AGENCY
M 24-7



ELECTRICAL DETAILS

INTERNALLY ILLUMINATED
SIGN CABINET

WHITE ACRYLIC TENANT PANEL
CABINET INTERNALLY ILLUMINATED

WITH 6500K WHITE LED'S.
ALL ALUMINUM PAINTED

4 BALLAST 4120

DISCONNECT SWITCH 1.8 KVA

30" STEEL PIPE

48" STEEL PIPE

CONCRETE
FOOTING

NAME:

PRINCE NEON
FELS EMERGENCY

JOB DESCRIPTION:

PYLON SIGN

LOCATION:

COMMERCIAL CIRCLE
FELS TX 78132

DESIGNER NAME:

NESTOR GOMEZ

VOLTS: 120

AMPS: 20

SECONDARY LOAD

KVA .84

Prince Neon MUST be notified of "OTHER VOLTAGES"
manufacture. An allocated circuit consisting of primary, neutral and
ground conductors are to be provided by customer.

PLEASE NOTE

PRIMARY WIRING OF ADEQUATE VOLTAGE
AND CIRCUITS MUST BE FURNISHED TO
SIGN INSTALLATION SITE BY CLIENT PRIOR
TO ANY INSTALLATION.

INSTALLATION: COMPLY ALL
APPLICABLE CITY & NATIONAL CODES
ATTCHMENTS: INDIVIDUALLY MOUNTED
WITH 3/8" X 5" NONE FERROUS BOLTS



SIGN WILL BE LOCATED INSIDE
PROPERTY LINE











Allowed on IH-35 (Total of 2)					Conditional Sign Permit (Total of 1)
SIGN TYPE	Monument	Low Profile Pole	Pole Sign	Electronic Message Sign	Pole Sign
DISTRICT	M-1 1/300' for site		IH 35	M-1	
AREA	48 sf	20 sf	400 sf	200 sf with a max of 100 sf sign face	384 sf
HEIGHT	10 ft	10 ft	40 ft	40 ft.	80 ft
SETBACK	10 ft	10 ft	5 ft	15 ft	Approximately 35 ft to edge of sign cabinet
NUMBER	1		1	1 (no other free- standing signs permitted on lot)	1

Allowed on Commercial Circle or Southwestern Ave. (Total of 1)			Conditional Sign Permit (Total of 0)
SIGN TYPE	Monument	Low Profile Pole	Electronic Message Sign
DISTRICT	M-1 1/300' for site		M-1
AREA	48 sf	20 sf	100 sf with a max of 50 sf sign face
HEIGHT	10 ft	10 ft	10 ft
SETBACK	10 ft	10 ft	15 ft
NUMBER	1		1 (no other free- standing signs permitted on lot)

CHAPTER 106 SIGNS

106-14.2 Design Requirements.

c. *Pole Signs on Properties with IH 35 Frontage.*

Pole signs are permitted on properties with IH 35 frontage, and which have commercial or industrial zoning provided they meet the following requirements:

1. Height limit shall be 40 feet. For signs on properties with IH 35 frontage, additional height may be allowed.
 - a) This additional allowance will be determined by measuring the difference between the elevation of the property at the proposed location of the sign and the elevation of IH 35 main travel lanes.
 - b) Determination of the elevational difference shall be measured by projecting a perpendicular line from the center line of the proposed location of the sign to the IH 35 main travel lanes section nearest the sign.
 - c) The allowance will only apply for properties and sign locations that are determined to be lower in elevation than the IH 35 main travel lanes, as measured by b. above.
2. Maximum area shall be 400 square feet per face.
3. Pole sign shall have only two sign faces.
4. Properties with IH 35 frontage may have only one pole sign for each 400 feet of frontage. Pole signs shall be spaced a minimum of 300 feet apart.
5. All signs shall maintain a minimum clearance from electric power lines of ten feet horizontally and 15 feet vertically or as otherwise may be required by the utility provider. Any relocation of power lines to provide this clearance will be at the expense of the sign owner. Such signs are allowed in addition to permitted signage on the tract.

11/13/2017

Agenda Item No. I)

Presenter

*Christopher J. Looney, Planning and Community Development Director
clooney@nbtexas.org*

SUBJECT:

Discuss and consider an appeal of the Non-Residential and Multifamily Design Standards for property addressed at 744 IH 35 North.

BACKGROUND / RATIONALE:

Case No.: CS-17-030

Council District: 5

Owner/Applicant: Clearview New Braunfels, LP (Jim Pritchard)
2121 N Akard St., Suite 250
Dallas, TX 75201
(214) 405-9342

Staff Contact: Matthew Simmont
(830) 221-4058
msimmont@nbtexas.org

Background:

The subject property comprises 7.25 acres situated in between the Courtyard Marriott and River Village Apartment Community. The property is vacant with a stand of mature trees that are located on the riverfront portion of the site. The zoning on the property is split with the northern half zoned "C-3" Commercial District and the southern half zoned "C-4" Resort Commercial District. The tract is approximately 820 feet deep and 580 feet wide at its maximum along the frontage road (see Attachment 1).

Proposal:

The applicant intends to construct a self-service storage (*mini-warehouse*) facility on the subject property (Attachment 3). The proposed building would be located along the IH 35 frontage road within the C-3 zoned portion of the property where *mini-warehouse/self-service storage* is a permitted use.

New Braunfels' Zoning Ordinance requires 80% of a commercial building facade, excluding doors and windows, to be clad in "primary materials" (see Attachment 8). And it requires the lower 4 feet of all walls to be clad in brick, stone, cast stone, rock, marble, granite, split-face concrete block, pour-in-place concrete or tilt-wall concrete (Chapter 144, Section 5.22).

The applicant is proposing his building exterior to be primarily finished with metal wall panels to encompass 87.6% of the building. He is proposing a stone veneer for the lower 4 feet of the building on all sides.

The applicant has indicated in his application that the proposed building would utilize materials that will promote an enhanced design and will match/complement the existing hotel adjacent to the site (Courtyard Marriott).

Lot Size:
7.25 acres

Surrounding Zoning & Land Use:

North	M-2	Commercial	IH 35 / New Braunfels Marketplace
South	R-2	Undeveloped	Guadalupe River / Camp Comal
East	C-3 C-4	Commercial	Courtyard Marriott
West	C-3 R-2	Multifamily Residential	River Valley Apartments Single-Family Dwelling

Comprehensive Plan/Future Land Use Designation:
Commercial

Improvement(s):
Undeveloped

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

X	No	City Plan/Council Priority: Comprehensive Plan	Pros: None. Cons: Objective 9A: Consider establishing architectural standards and building material standards for nonresidential structures. Goal 12: Protect and enhance the visual environment of the City.
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FISCAL IMPACT:
N/A

COMMITTEE RECOMMENDATION:
N/A

STAFF RECOMMENDATION:

Staff recommends denial of the applicant's request. The proposed mostly-metal sided structure would be visible from IH 35 and would have significant visual impact on this portion of the highway corridor. It would also be visible from the adjacent residential neighborhood and from the Guadalupe River.

The design standards were adopted by City Council to improve the visual appeal of commercial

structures in New Braunfels, and were recently updated by City Council. The proposed deviations would detract from these established standards. It appears the building/business could still function while meeting the minimum of the commercial building materials standards.

Attachments:

1. Aerial
2. Application
3. Site Plans
4. Proposed Building Elevations
5. Proposed Building Renderings
6. Zoning Map
7. Existing Land Use Map
8. Section 5.22

Aerial Map



Legend

Subject Property

ATTACHMENT 1



CS-17-030
744 IH 35
Appeal of Building Design Standards

Map Created 8/1/17



APPEAL OF BUILDING DESIGN STANDARDS

Planning and Community Development
550 Landa Street, New Braunfels TX 78130
Phone: (830) 221-4050

PLANNING

CS-17-030

1. Property Owner(s): Clearview New Braunfels, LP
Name: _____
Mailing Address: 2121 N Akard St, Suite 250, Dallas TX 75201
Email: todd@pritchardassociates.com
Telephone: 214-405-9342 Mobile: 214-405-9342
2. Agent: (If the applicant is not the owner, a letter of authorization must be furnished from the owner(s) at the time the application is submitted.)
Name: N/A
Mailing Address: _____
Email: _____
Telephone: _____ Mobile: _____
3. Property Address/Location: 744 IH 35 N, New Braunfels TX 78130
4. Detailed description of design standard(s) not in compliance with Sec. 5.22 Non-Residential and Multifamily Design Standards (use additional sheet if necessary): Section 5.22-4 details that 80% of the vertical walls of all buildings shall be finished in one or more primary materials. We are proposing the use of a secondary material (architectural metal wall panels) as a primary material. The attached package includes elevations, renderings, site plans, and a building materials table.
5. Reason for request (use additional sheet if necessary):
Our plan is to incorporate architectural metal wall panels for the storage unit project as shown in the attached package. The planned metal panels (not Mueller-style) promote an enhanced design appeal & will match/compliment the existing hotel structure on the site (Courtyard Marriott).
6. Attachments: The following items must be submitted with the application:

<input checked="" type="checkbox"/> Completed application.	<input checked="" type="checkbox"/> Site plan.
<input checked="" type="checkbox"/> \$300 application fee.	<input checked="" type="checkbox"/> Details of construction materials.
<input checked="" type="checkbox"/> Façade elevation drawing.	

The undersigned hereby requests City Council to consider an appeal to the Building Design Standards for the location(s) stated above.

Jim Pritchard

Print Name of Owner/Agent

Signature of Owner/Agent

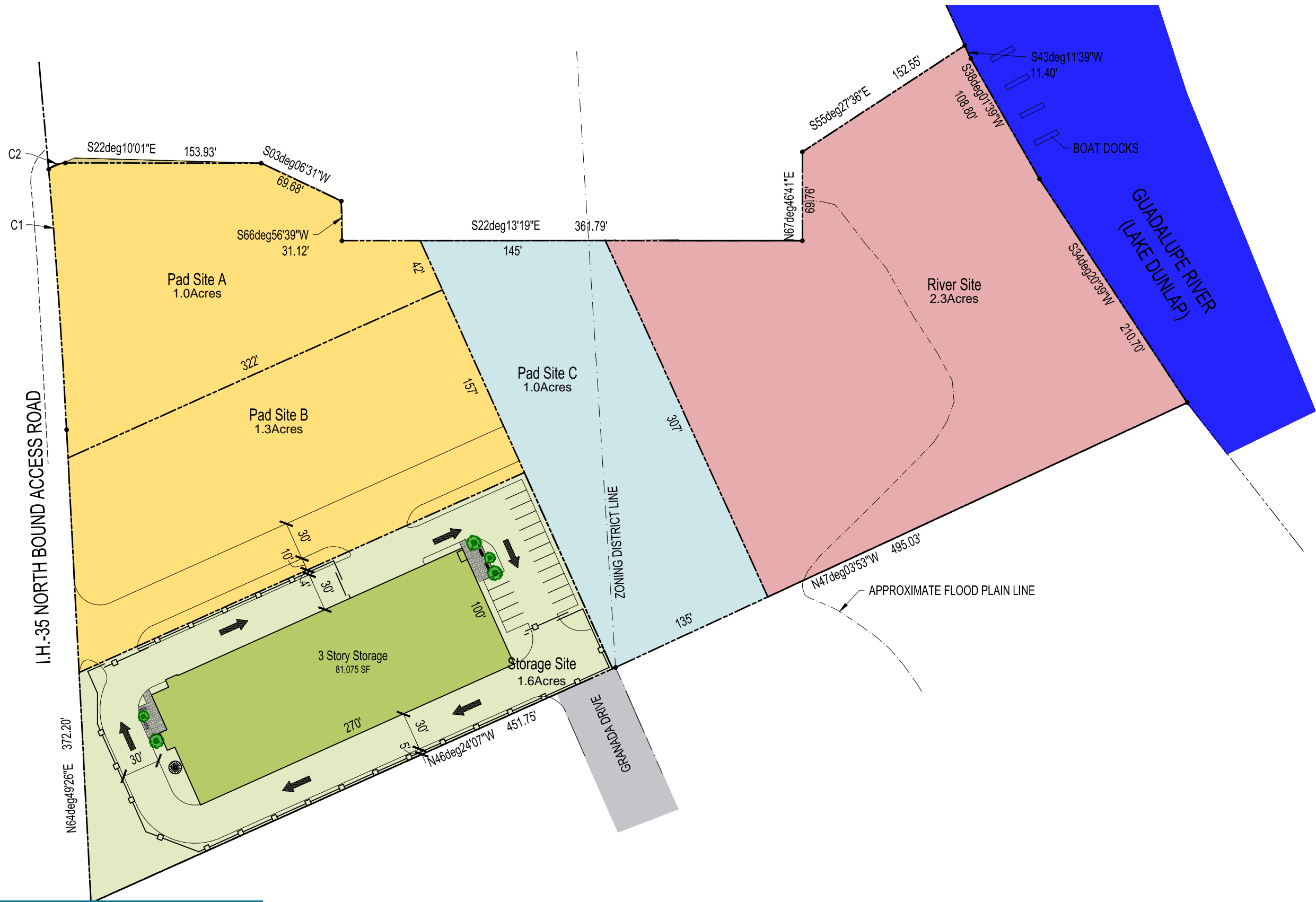
10/6/17

Date

ms

FOR OFFICE USE ONLY:

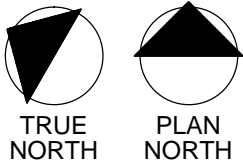
Received by: CS Date Received: 10-6-17 Receipt No.: 242845
Council Meeting Date: 11-13-17 Case No.: CS-17-030



Land Areas	
Name	Net Area
Pad Site A	1.0Acres
Pad Site B	1.3Acres
Pad Site C	1.0Acres
River Site	2.3Acres
Storage Site	1.6Acres
	7.2Acres

OVERALL SITE PLAN

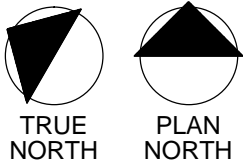
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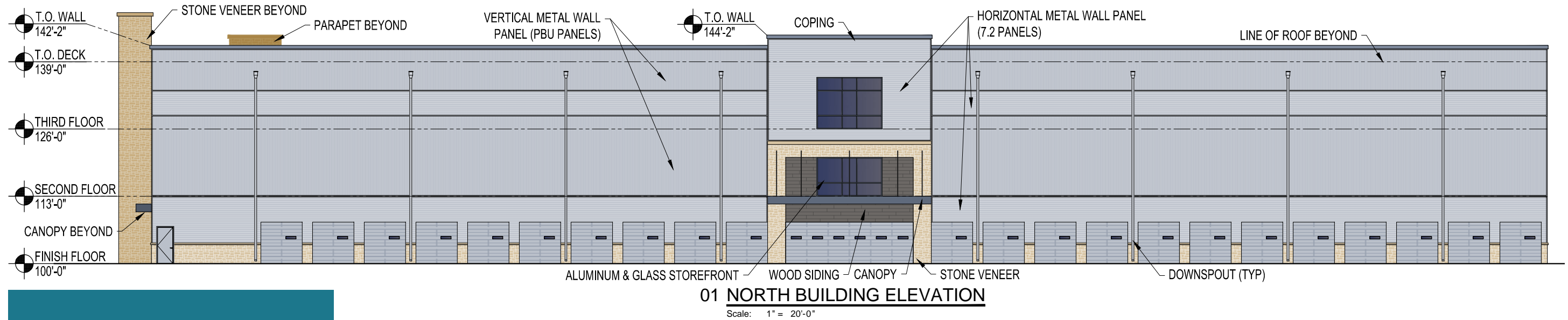
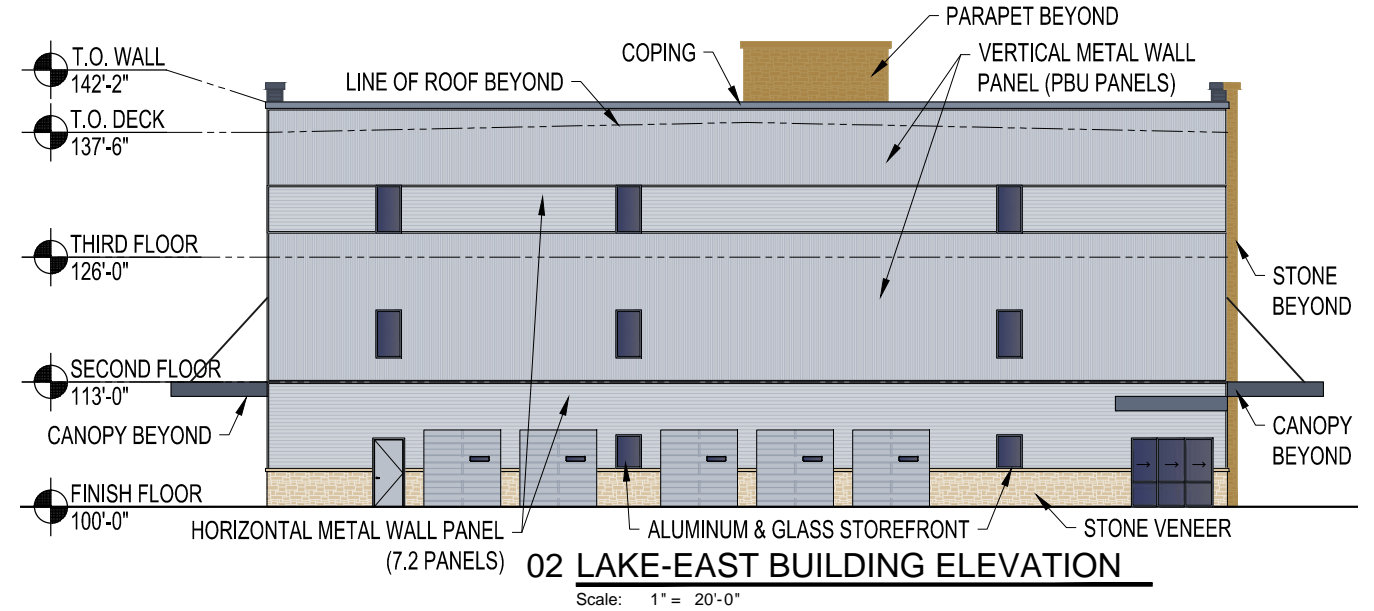
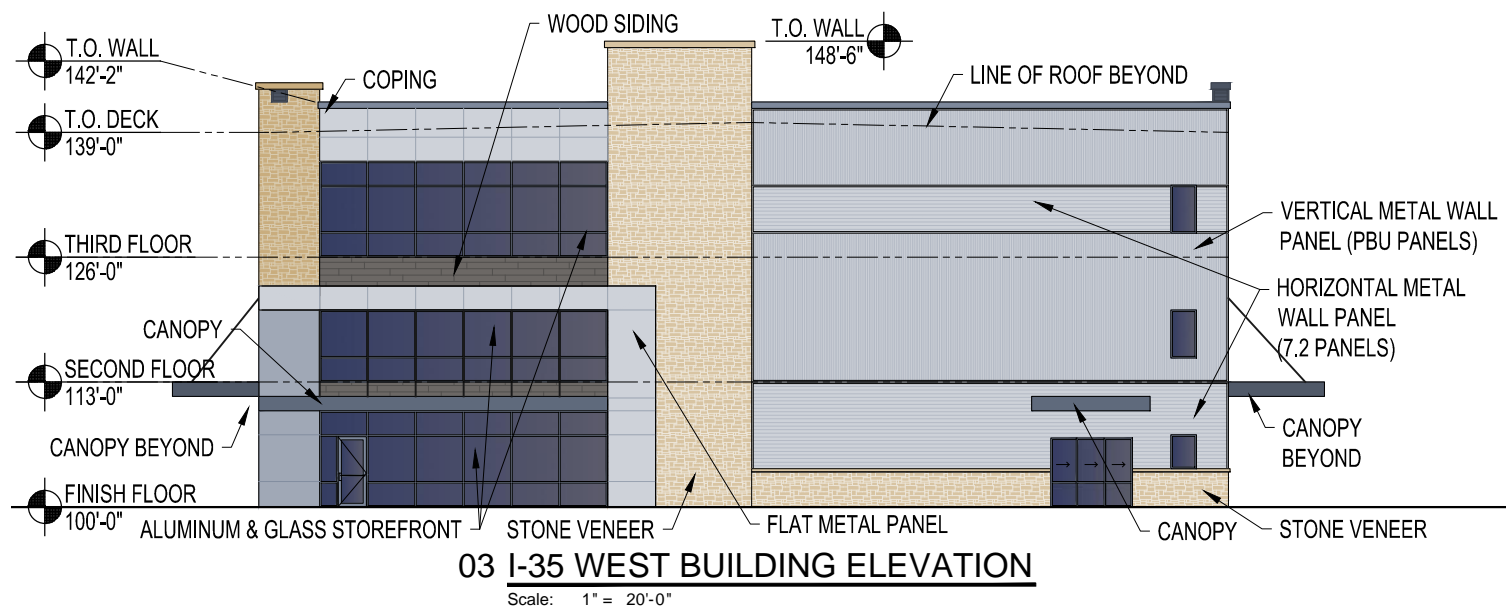
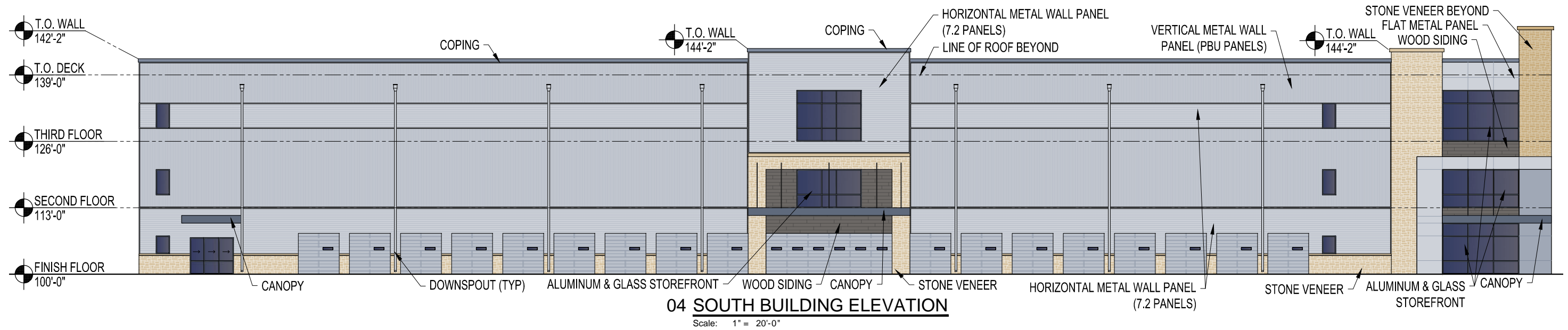




STORAGE SITE PLAN

Scale: 1" = 40'-0"







CROW HOLDINGS
CAPITAL PARTNERS, L.L.C.

azimuth:

architecture



CROW HOLDINGS
CAPITAL PARTNERS, L.L.C.



CROW HOLDINGS
CAPITAL PARTNERS, L.L.C.

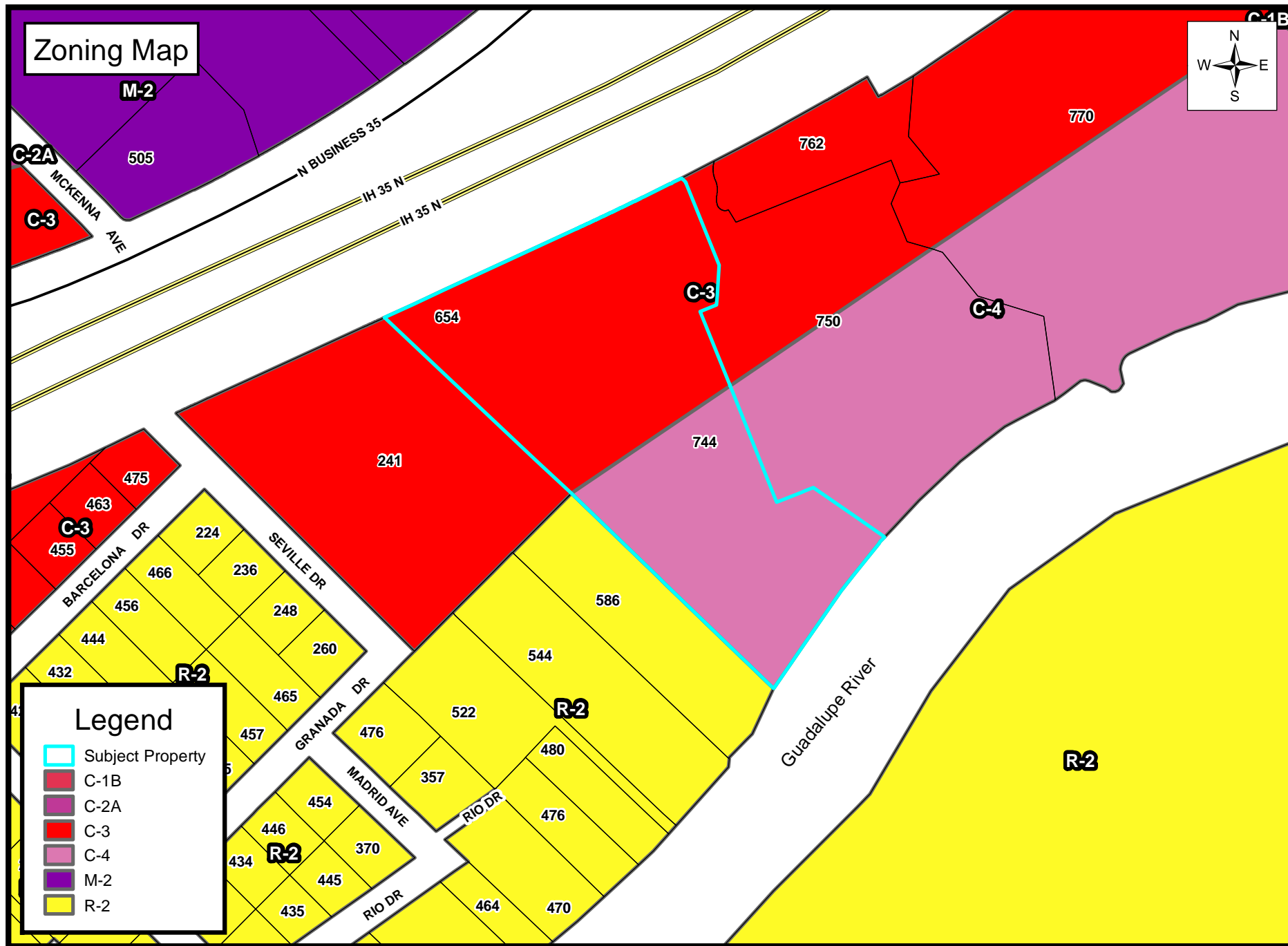
architecture
AZIMUTH:

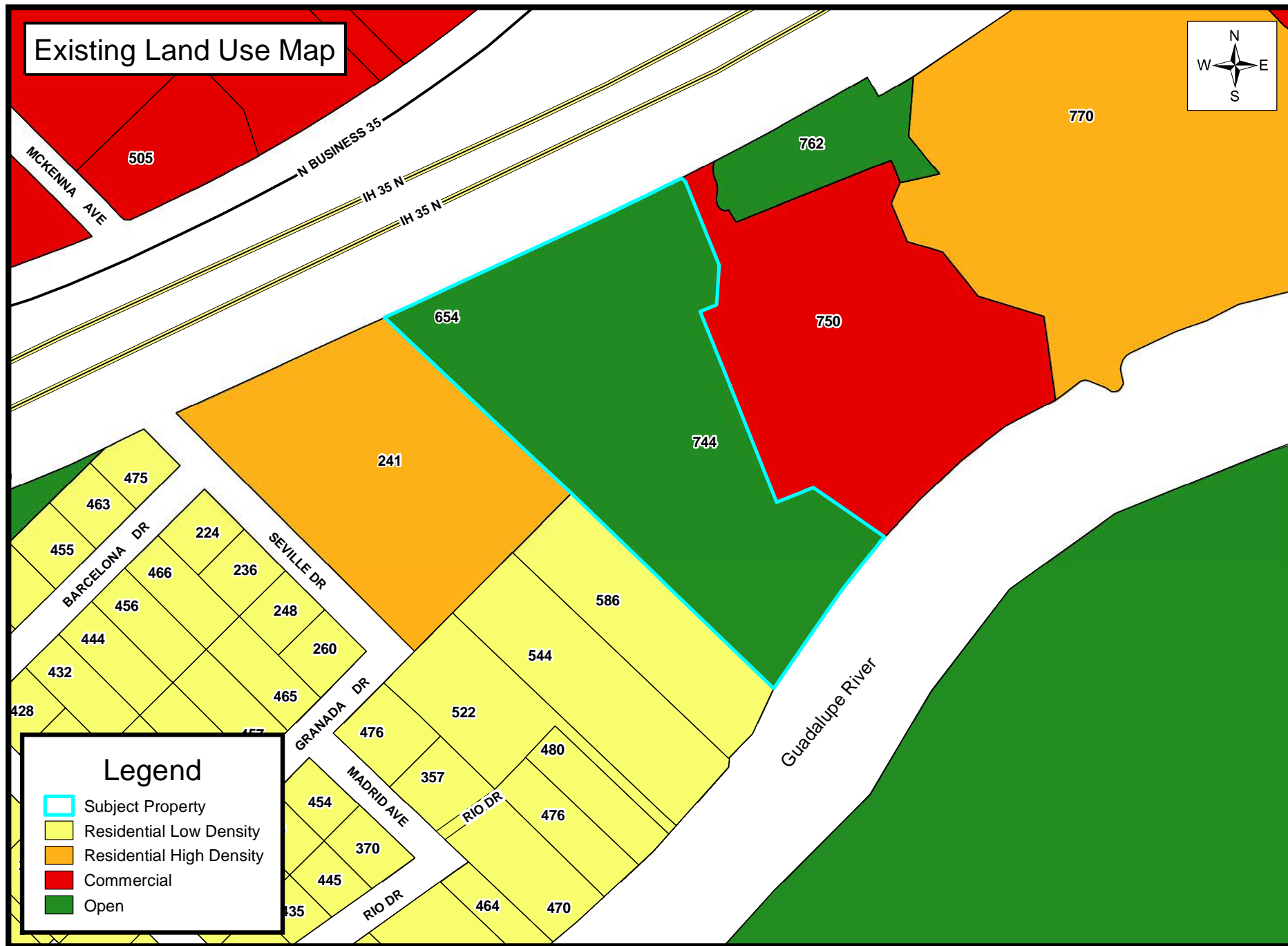


CROW HOLDINGS
CAPITAL PARTNERS, L.L.C.

AZIMUTH:

architecture





5.22. Non-Residential and Multifamily Design Standards.

5.22-1 Applicability of Non-Residential Design Standards. All non-residential and multifamily buildings, with the exception of those described in Section 5.22-2, below, that are adjacent to or front a public roadway, public park or Residential District must comply with the standards of this Section.

5.22-2. Structures Exempt from Design Standards.

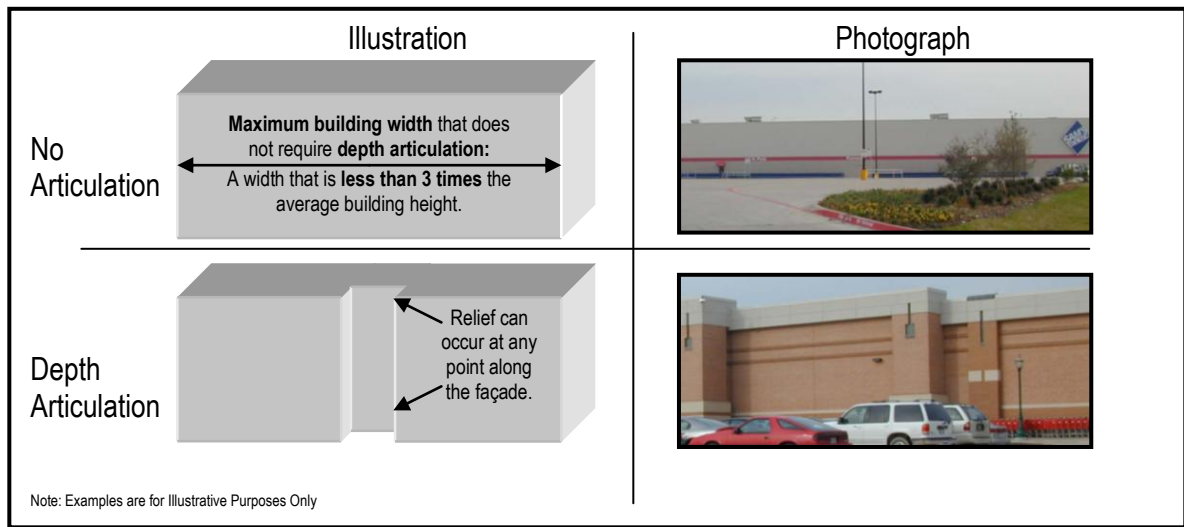
- (a) Industrial uses. Industrial Use buildings shall be exempt from the Design Standards when located in a zoning district that allows industrial use and where adjacent to other properties zoned and/or used for industrial purposes;
- (b) Expansions of existing buildings containing 10,000 sq. ft. or less gross floor area, if the expansion is no more than 40 percent of the existing building area;
- (c) Expansions of existing buildings containing more than 10,000 sq. ft gross floor area, if the expansion is no more than 20 percent of the existing building area;
- (d) Metal buildings used for industrial uses are not exempt from additional landscape standards as required in Section 5.22-3(e).
- (e) *Additional Landscaping for Metal Buildings for Industrial Uses.* All metal industrial buildings shall incorporate the following elements in addition to Section 5.3 of the Zoning Ordinance:
 - (1) A minimum of one tree and four shrubs for every 40 feet (or portion thereof) of building façade that is adjacent to or fronting a public roadway, public park or Residential District shall be installed using trees from the approved plant list (Zoning Ordinance: Chapter 144). The above requirements shall be planted within 40 feet of the building façade.
 - (2) Trees shall be planted no closer than 20 feet apart.
 - (3) In no event may trees other than ornamental trees listed in Appendix A of the Zoning Ordinance be planted under overhead power lines.
 - (4) All new trees shall be provided with a permeable surface of 60 square feet per tree under the drip line.
 - (5) All planting areas shall be a minimum of five feet in width.

5.22-3 Building Mass, Articulation and Building Elements.

- (a) *Purpose.* In order to provide building articulation and interest in design and human scale to the façade of a building, a variety of building techniques are required. The purpose of this section is to ensure that the front of non-residential and multifamily structures have a variety of offsets, relief, and insets to provide a more interesting façade appearance.
- (b) *Applicability.* The following articulation standards shall apply to building facades facing a public street.
- (c) *Building Articulation.*
 - (1) *Horizontal (or Depth) Articulation.*
 - (i) Maximum Distance between Offsets: No building façade shall extend for a distance greater than three times its average height without a perpendicular offset.
 - (ii) Minimum Depth of Offsets: Offset depth shall be a minimum 15 percent of the average building height.

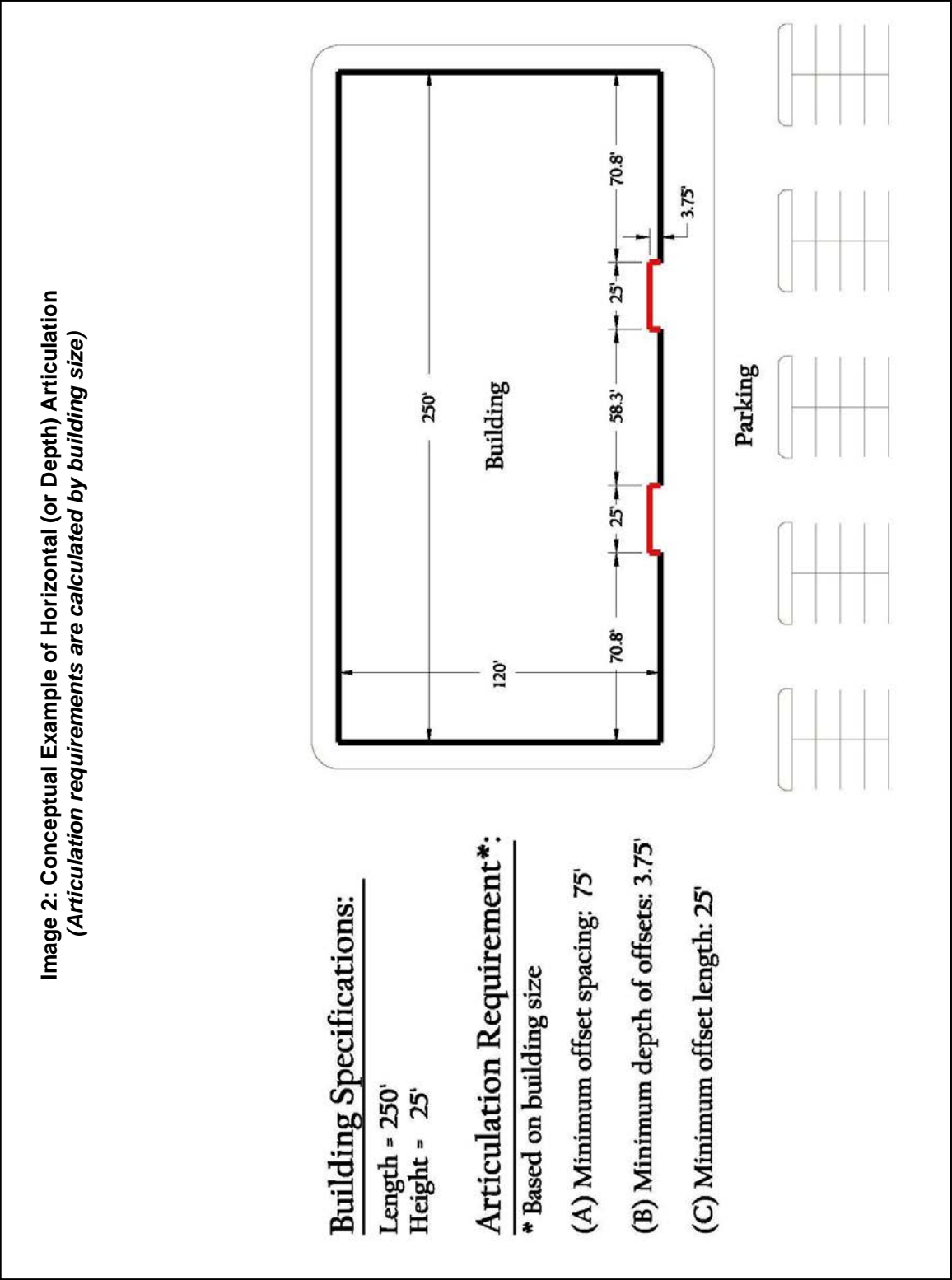
- (iii) Minimum Length of Offsets: Offset shall extend laterally for a distance equal to at least 10 percent of the entire façade.
- (iv) Offset Depth Variation: Offsets can be of varying depth as long as the minimal standard is satisfied.
- (v) Façade Calculation: For calculation purposes, the façade shall be considered the total distance of the building line.

Image 1 - Horizontal (or Depth) Articulation Examples



(continued on next page)

Image 2 – Conceptual Example of Horizontal (or Depth) Articulation



(2) *Vertical (or Height) Articulation.*

- (i) Maximum Distance between Elevation Changes: No wall shall extend horizontally for a distance greater than three times its average height without a change in elevation.
- (ii) Minimum Height of Elevation Changes: An elevation change height shall be a minimum 15 percent of the average building height.
- (iii) Minimum Length of Elevation Changes: An elevation change shall continue to extend laterally for a distance equal to at least 10 percent of the entire façade.
- (iv) Elevation Change Variation: Elevation changes can be of varying heights as long as the minimal standard is satisfied.
- (v) Façade Calculation: For calculation purposes, the façade shall be considered the total distance of the building façade.

Image 3 - Vertical (or Height) Articulation Examples

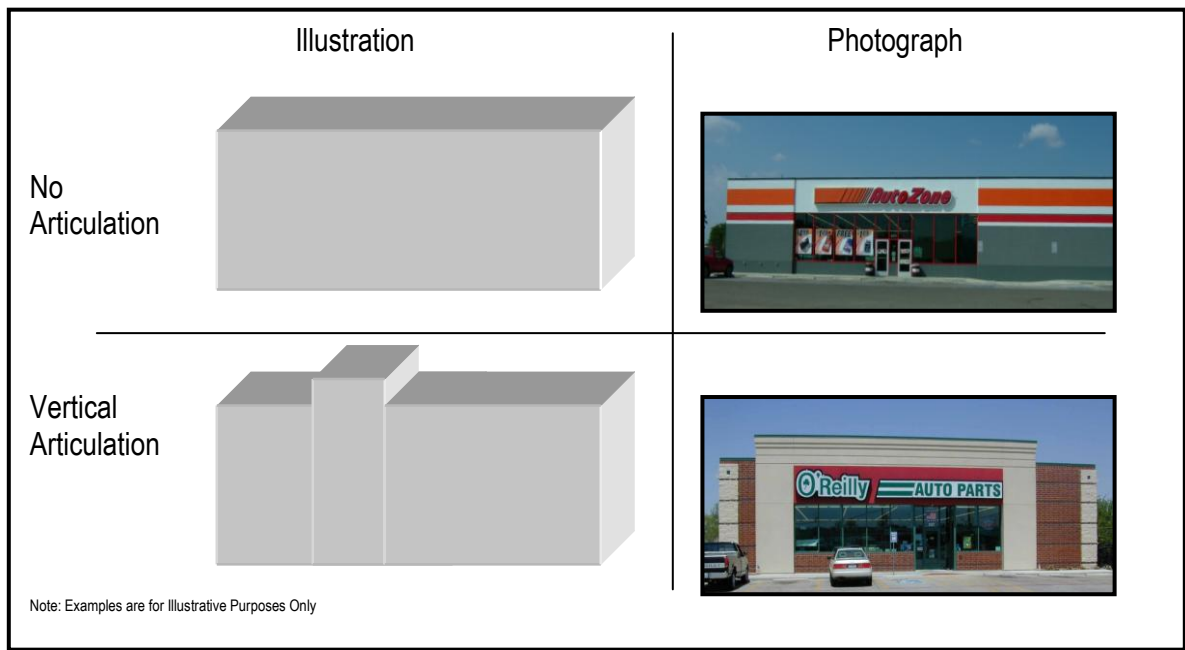
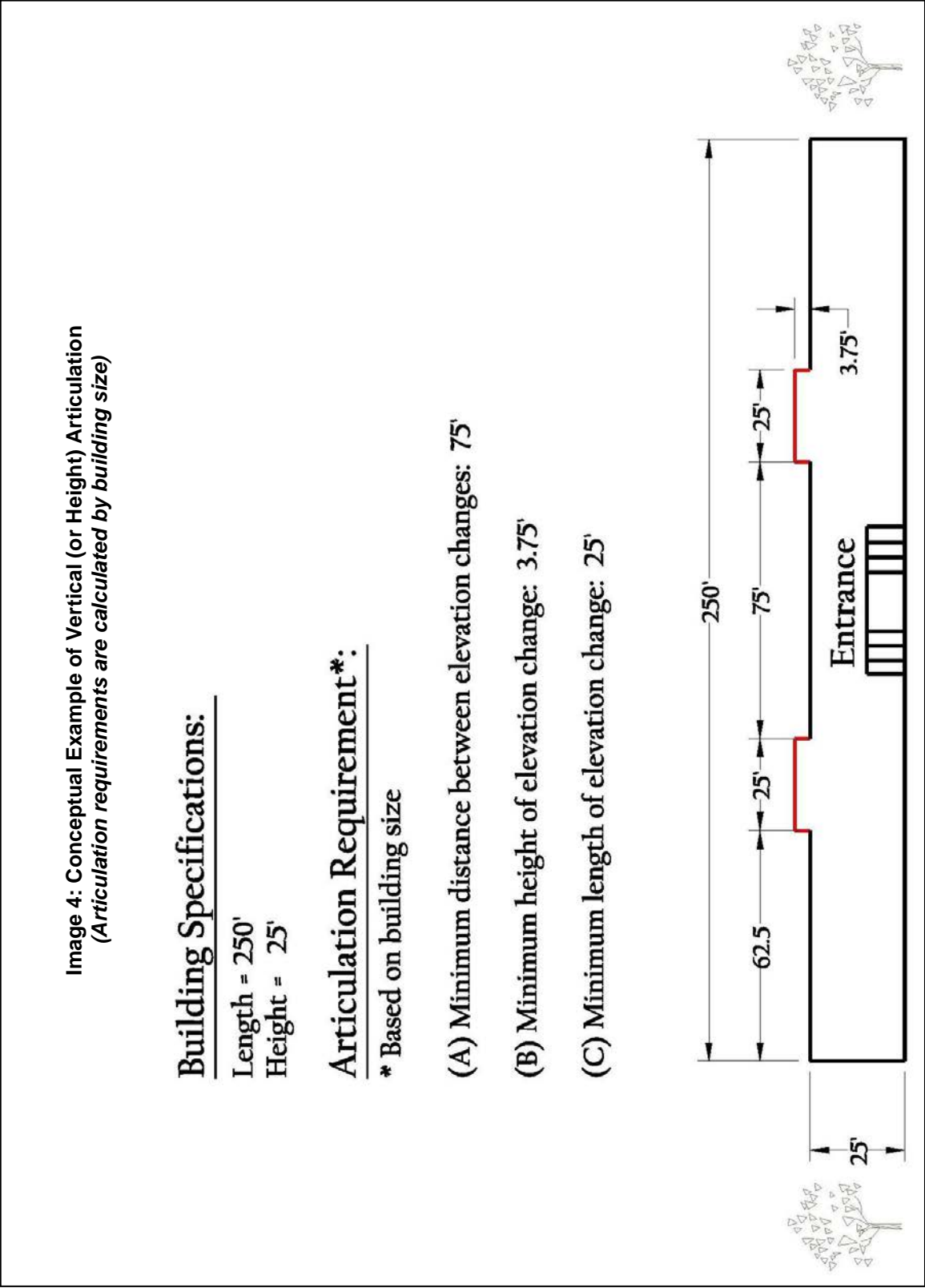


Image 4 - Horizontal (or Depth) Articulation Examples



(d) *Building Elements.*

All buildings shall incorporate at least four of the following building elements:

- (1) lighting features,
- (2) awnings,
- (3) canopies,
- (4) alcoves,
- (5) windows,
- (6) recessed entries,
- (7) ornamental cornices,
- (8) pillar posts,
- (9) other building elements that contribute to the human scale of a building.

(e) *Additional Landscaping for Metal Buildings for Industrial Uses.* All metal industrial buildings shall incorporate the following elements in addition to Section 5.3 of the Zoning Ordinance:

- (1) A minimum of one tree and four shrubs for every 40 feet (or portion thereof) of building façade shall be installed using trees from the approved plant list (Zoning Ordinance: Chapter 144). The above requirements shall be planted within 40 feet of the building façade.
- (2) Trees shall be planted no closer than 20 feet apart.
- (3) In no event may trees other than ornamental trees listed in Appendix A of the Zoning Ordinance be planted under overhead power lines.
- (4) All new trees shall be provided with a permeable surface of 60 square feet per tree under the drip line.
- (5) All planting areas shall be a minimum of five feet in width.

5.22-4 Exterior Building Materials.

Exterior Finish Requirement. At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in one or more primary materials. In every instance, the lower four feet of the vertical walls of all buildings must be finished in one or more of the primary materials.

(a) Primary Materials:

- (1) Brick, stone, cast stone, rock, marble, granite;
- (2) Glass block, tile;
- (3) Stucco or plaster;
- (4) Glass with less than 20 percent reflectance (however, only a maximum of 50 percent of a building may be constructed in glass);

(5) Split-face concrete block, poured-in-place concrete, and tilt-wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-wall concrete structures shall include reveals, punch-outs, or other similar surface characteristics to enhance the façade on at least ten percent of each façade.

(6) Fiber cement, such as James Hardie brand products or equivalent.

(b) Masonry. In every instance, the lower four feet of the vertical walls of all buildings must be finished in one or more of the primary materials noted in subsection (a)(1) or (a)(5) above.

(c) Secondary Materials. The remaining 20 percent of the exterior finish is discretionary and may include, but is not limited to, Exterior Insulation and Finish System (EIFS), wood, metal (including stamped, embossed, or coated panels) or other non-reflective materials.

(d) Additions to existing structures with vertical walls made of wood, including shingles and siding, may utilize wood in an amount consistent with the percentage of wood on the original structure.

5.22-5. *Consistent Façade Standard.*

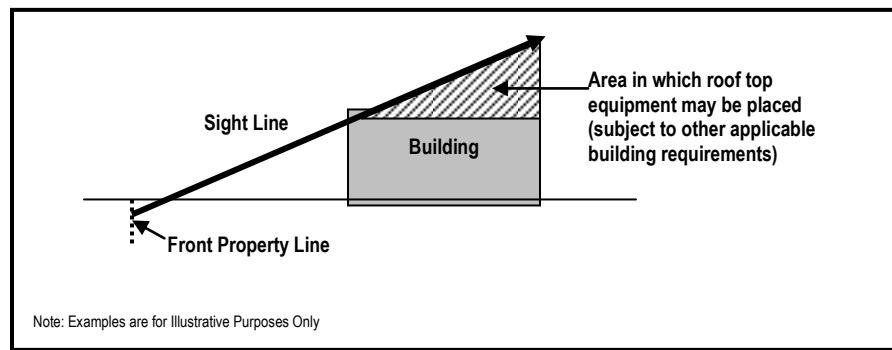
(a) All façades or sides of a building shall be designed with architectural style and building materials consistent with the front facade.

(b) Side or rear facing facades, not on a public roadway, are not required to meet the articulation standards in Section 5.22-3.

5.22-6 Roof Treatments.

(a) Parapets shall be used to conceal roof top equipment on flat roofs. If a sight line drawing is provided with the site plan showing that all roof top equipment will not be visible from the public right of way or adjacent property., then a parapet wall shall not be required.

Image 5 - Sight Line Example



(b) Where overhanging eaves are used, overhangs may be no less than two feet beyond the supporting walls.

(c) Any roof using shingles shall use dimensional shingles (shingles that have a shadow at the top exposure to give added depth and definition).

(d) Red Tile Roofs: Red tile roofs are not considered shingles for the purpose of the section.

5.22-7 Roof Types.

The following types of roofs are prohibited:

- (a) Mansard roofs and canopies without a minimum vertical distance of eight feet and at an angle not less than 25 degrees, and not greater than 70 degrees;
- (b) Back-lit awnings used as a mansard or canopy roof.

5.22-8 Entryways/Customer Entrance Treatments and Pedestrian Routes.

- (a) Any front entry shall be set back from the drive a minimum distance of 15 feet.
- (b) Single-use or multi-tenant buildings over 60,000 square feet in size must provide clearly defined, highly visible customer entrances that include an outdoor patio area, at least 200 square feet in area, that incorporates the following:
 - (1) Benches or other seating components;
 - (2) Decorative landscape planters or wing walls that incorporate landscaped areas;
 - (3) Structural or vegetative shading; and
 - (4) Pedestrian routes between parking areas and buildings.

5.22-9 Applications Procedures.

The above standards shall be required to be shown on a site plan that is part of a building permit application. Façade elevation drawings shall also be required.

5.22-10 Appeal Procedures.

- (a) Enforcement of this ordinance may be appealed to the City Council.
- (b) Appeal Procedures:
 - (1) All appeal actions for a site plan application denied by the Planning Director or his/her designee shall be submitted to and reviewed by the City Council, if requested by the applicant.
 - (2) An appeal must be made in writing on an application form available in the Planning Department, shall be accompanied by an application fee of \$300 and shall include a site plan, building elevation plan and landscape plan.
 - (3) The appeal shall be scheduled for consideration of the site plan on the regular agenda of the Council within 30 days after the appeal application is received, or, in the case of an incomplete application, 30 days after the submission is deemed complete.
 - (4) The Council shall review the site plan and shall recommend approval, approval subject to certain conditions, or disapproval of the concept plan or building site plan.
 - (5) The City Council shall determine final approval or disapproval of all site plan appeals.

11/13/2017

Agenda Item No. J)

Presenter/Contact

Leah Garcia, Councilmember, District 6
(830) 221-4506 - lgarcia@nbtexas.org

SUBJECT:

Discuss and consider possible direction to staff to bring forward for Planning Commission recommendation and City Council consideration amendments to the Zoning Ordinance, Chapter 144 of the Code of Ordinances, regarding Special Use Permits.

BACKGROUND / RATIONALE:

A review of the Special Use Permit (SUP) process.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

	Yes	City Plan/Council Priority: 2006 Comprehensive Plan <i>Pros and Cons Based on Policies Plan</i>	Pros: Goal 6: Refine or add zoning requirements to be compatible with the community's overall intentions and the best interests of the community as a whole. Objective A: Review existing zoning ordinance and subdivision regulations and make appropriate and timely recommendations. Goal 16: Update and streamline regulations to reduce regulatory complexity, to encourage both economic development and quality of life, and to control administrative and development costs. Cons: None.
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FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

N/A

11/13/2017

Agenda Item No. K)

Presenter/Contact

Justin Meadows, Councilmember, District 2
(830) 221-4502 - jmeadows@nbtexas.org

SUBJECT:

Discuss and consider possible direction to staff to bring forward for Planning Commission recommendation and City Council consideration amendments to the Zoning Ordinance, Chapter 144 of the Code of Ordinances, regarding changes to the "C-1A" Neighborhood Business District.

BACKGROUND / RATIONALE:

A review of the uses allowed by right in the "C-1A" Neighborhood Business zoning district.

ADDRESSES A NEED/ISSUE IN A CITY PLAN OR COUNCIL PRIORITY:

	Yes	City Plan/Council Priority: 2006 Comprehensive Plan <i>Pros and Cons Based on Policies Plan</i>	Pros: Goal 2: Encourage the mixing of land uses to create a sense of community in the neighborhoods. Objective A: Allow differing uses in close proximity to help streets, public spaces and pedestrian-oriented retail become places where people meet, attracting pedestrians back onto the street and helping to revitalize community life. Goal 6: Refine or add zoning requirements to be compatible with the community's overall intentions and the best interests of the community as a whole. Objective A: Review existing zoning ordinance and subdivision regulations and make appropriate and timely recommendations. Goal 16: Update and streamline regulations to reduce regulatory complexity, to encourage both economic development and quality of life, and to control administrative and development costs. Cons: None.
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FISCAL IMPACT:

N/A

COMMITTEE RECOMMENDATION:

N/A

STAFF RECOMMENDATION:

N/A



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. A)

Deliberate and consider the purchase of, exchange, lease or value of real property, in accordance with Section 551.072, of the Texas Government Code, including but not limited to:

- acquisition of land for city facilities



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. B)

Deliberate pending/contemplated litigation, settlement offer(s), and matters concerning privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct in accordance with Section 551.071, of the Texas Government Code, specifically:

- Alta Towers, LLC v. City of New Braunfels and City of New Braunfels Zoning Board of Adjustment
- Carowest Land, Ltd. v. Yantis Company and the City of New Braunfels, (2010, 2015, and 2017 cases)
- Yantis Company vs. City of New Braunfels, et. al. (2014 case)
- Stop the Ordinances Please, et. al. v. City of New Braunfels
- Collection action



City Council Agenda Item Report

550 Landa Street
New Braunfels, TX

11/13/2017

Agenda Item No. C)

Deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of the City Manager in accordance with Section 551.074 of the Texas Government Code.