

**ORDINANCE NO. 2019-**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS, AMENDING THE "COTTON COTTAGES" PLANNED DEVELOPMENT DISTRICT (CCPD) CONCEPT PLAN, DETAIL PLAN AND RELATED DEVELOPMENT STANDARDS; REPEALING ALL ORDINANCES IN CONFLICT; CONTAINING A SAVINGS CLAUSE; AND DECLARING AN EFFECTIVE DATE.**

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**WHEREAS**, the City Council of the City of New Braunfels has complied with all requirements of notice of public hearing as required by the Zoning Ordinance of the City of New Braunfels; and

**WHEREAS**, in keeping with the spirit and objectives of the "PD" Planned Development District, the City Council has given due consideration to all components of said district; and

**WHEREAS**, it is the intent of the City Council to provide harmony between existing zoning districts and proposed land uses; and

**WHEREAS**, the City Council desires to amend the "Cotton Cottages" Planned Development District Concept Plan, Detail Plan and Development Standards; **now, therefore;**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NEW BRAUNFELS, TEXAS:**

**SECTION 1**

**THAT** the "Cotton Cottages" Planned Development District Concept Plan, Detail Plan and Development Standards adopted by City Council May 9, 2016 are hereby amended by adopting the following described Amended Concept Plan, Amended Detail Plan and Amended Development Standards:

"Known as 5.732 acres out of Lot 2A-1, F & M Hanz Estate Resubdivision, Comal County, Texas, as delineated on Exhibit 'A', and adopting the Amended Concept Plan depicted on Exhibit 'B', the Amended Detail Plan as depicted on Exhibits 'C-1' and 'C-2' and the Amended Development Standards described in Exhibit 'D' attached.

## **SECTION 2**

**THAT** all provisions of the Code of Ordinances of the City of New Braunfels not herein amended or repealed shall remain in full force and effect.

## **SECTION 3**

**THAT** all other ordinances, or parts of ordinances, in conflict herewith are hereby repealed to the extent that they are in conflict.

## **SECTION 4**

**THAT** if any provisions of this ordinance shall be held void or unconstitutional, it is hereby provided that all other parts of the same which are not held void or unconstitutional shall remain in full force and effect.

## **SECTION 5**

**THIS** ordinance will take effect upon the second and final reading in accordance with the provisions of the Charter of the City of New Braunfels.

**PASSED AND APPROVED:** First reading this 22nd day of April, 2019.

**PASSED AND APPROVED:** Second reading this 13th day of May, 2019.

**CITY OF NEW BRAUNFELS**

\_\_\_\_\_  
**BARRON CASTEEL, Mayor**

**ATTEST:**

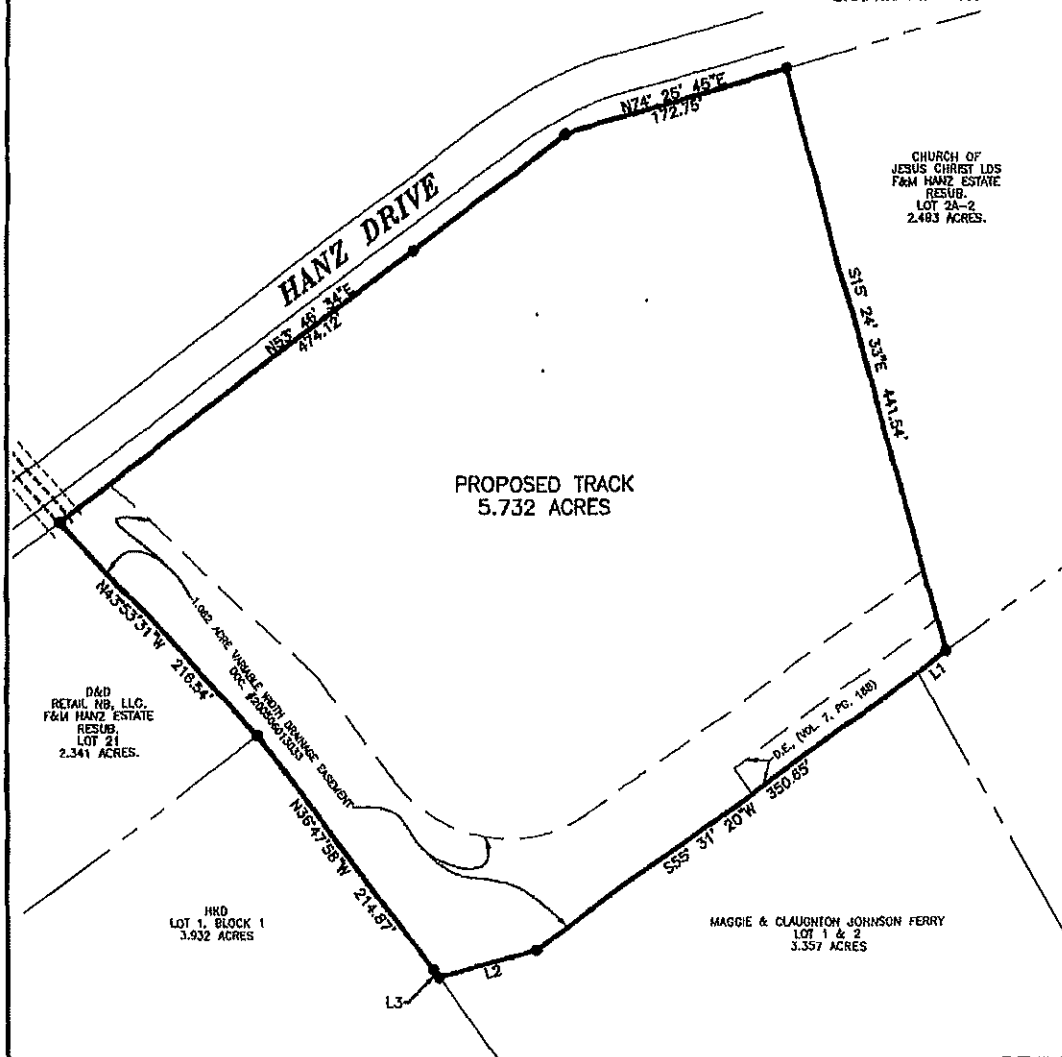
\_\_\_\_\_  
**PATRICK D. ATEN, City Secretary**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
**VALERIA M. ACEVEDO, City Attorney**

\\\\chfs-1\\Departments\\Planning\\ZoneChange-SUP-Replats\\2019 Cases\\PZ-19-003 Ordinance.docx

LINE TABLE		
LINE	LENGTH	BEARING
L1	27.20'	S 52°19'35" W
L2	75.21'	S 74°48'31" W
L3	7.20'	N 35°43'46" W



# BOUNDARY & ACREAGE MAP COTTON COTTAGES

NEW BRAUNFELS

TEXAS

EXHIBIT 'A'

PROPOSED TRACK  
5.732 ACRES

N  
W E  
S

0 100 200  
GRAPHIC SCALE 100'

HIGH COTTON ESTATES  
2.493 AC.  
BLK 1-7.35 TOTAL LOTS

GUARANTEE BINDER TRACT  
11.265 AC.  
AS SUGGESTED BY LAND  
SURVEY BY BROWN  
ENGINEERING, CO.

HANZ DRIVE

SUNDAY HOMES & SINGLE  
FAMILY GARDEN HOMES  
0.542 AC.

SUNDAY HOMES & SINGLE  
FAMILY GARDEN HOMES  
0.437 AC.

SUNDAY HOMES & SINGLE  
FAMILY GARDEN HOMES  
0.574 AC.

SUNDAY HOMES & SINGLE  
FAMILY GARDEN HOMES  
0.442 AC.

SINGLE FAMILY  
COTTAGES  
CONDO RESERVE  
0.442 AC.

SUNDAY HOMES  
0.189 AC.

COMMERCIAL  
0.081 AC.

1.06 AC. CORNER WITH DRIVE EASEMENT

D&O  
RETAIL, INC. FARM LOTS ESTATE  
RESUB LOT 21  
2.341 ACRES.

180  
LOT 1, BLOCK 1  
3.632 ACRES

MARGIE & CLAUDINE JOHNSON FERRY  
LOT 1 & 2  
3.357 ACRES

CHURCH OF  
JESUS CHRIST LBS  
FARM HOUSE ESTATE  
RESUB  
LOT 2A-2  
2.493 ACRES.

1/1/1991

PROPOSED LAND USE MAP  
COTTON COTTAGES

SHY  
6

KLEIN & COPE  
ENGINEERING  
INC.

2000 PACEWALKER DRIVE  
SUITE 100  
DALLAS, TEXAS 75244  
(214) 343-1111

TEVARS

# "COTTON COTTAGES" PLANNED DEVELOPMENT DISTRICT DETAIL PLAN



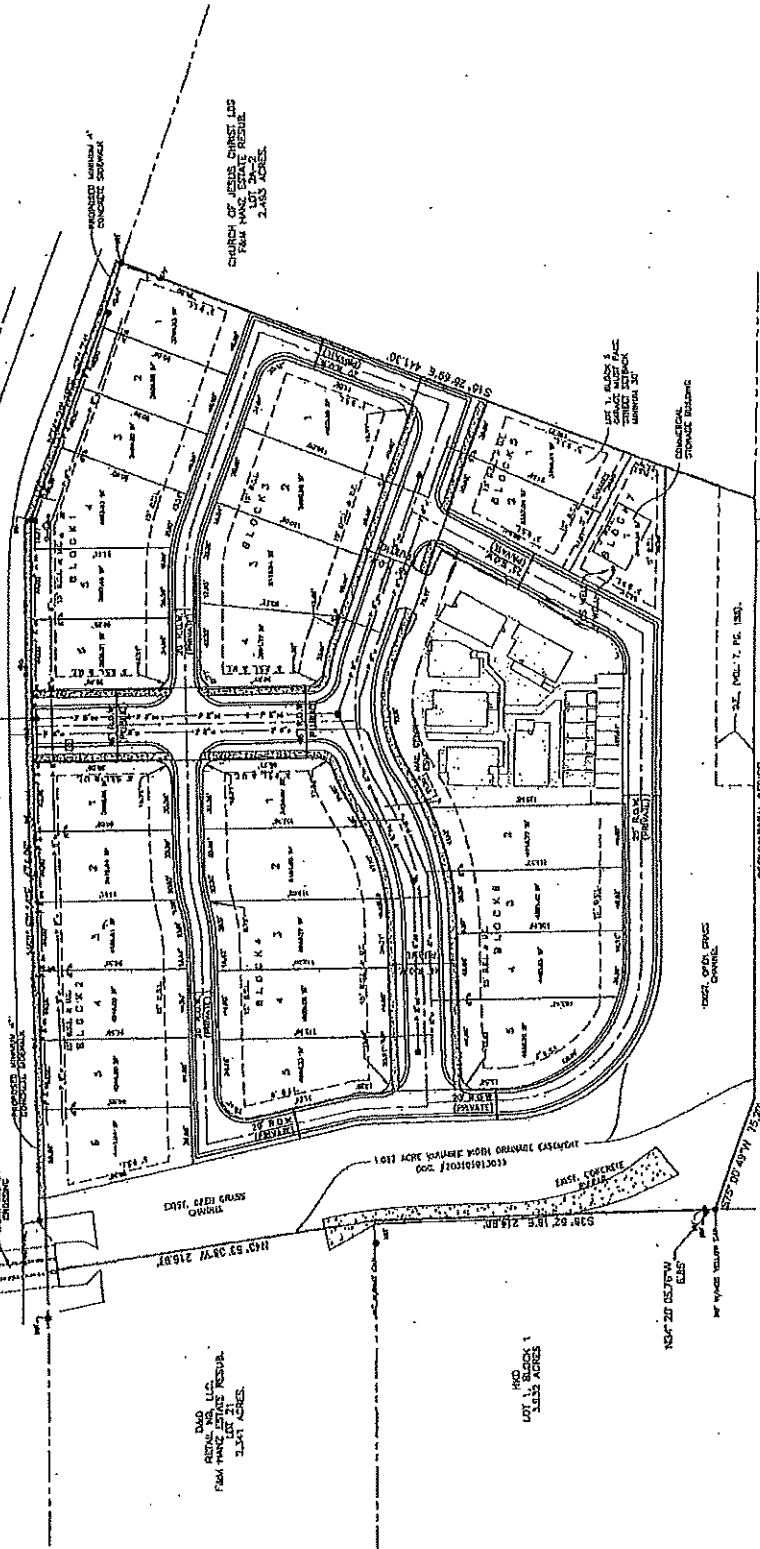
DETAIL PLAN  
ESTABLISHING  
COTTON COTTAGES



CHUCKLE RIVER TRACT  
17.246 AC.  
AS SHOWN IN A LAMB TITLE  
SHEET BY BROWN ENGINEERING, CO.

HIGH COTTON DEWATES  
2,000 AC.  
BLK. 1-2, 36 TOTAL LOTS

HANZ DRIVE



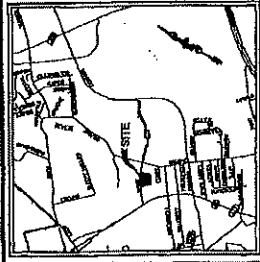
**KLEIN & COPE**  
ENGINEERING  
INC.  
CITY & INDUSTRIAL ENGINEERS  
1001 WEST 1000  
SALT LAKE CITY, UTAH 84119  
TEL: 531-1111 FAX: 531-1112

JACQUE & CLAUDINE JOHNSON FERRY  
LOT 1 & 2  
1.50 ACRES

SHT 1 OF 2

SHT 1 OF 2

EXHIBIT 'C-1'



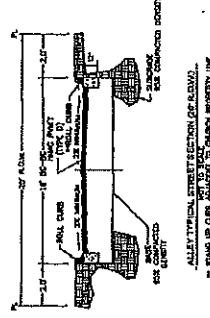
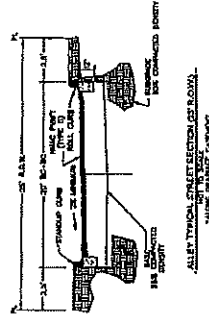
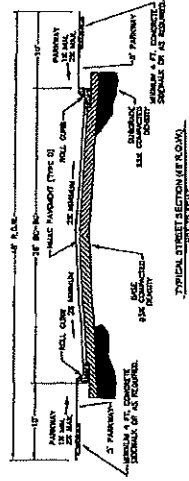
LOCATION MAP  
1" = 100'

# DETAIL PLAN ESTABLISHING COTTON COTTAGES

- NOTES:
1. REFERENCE THE "COTTON COTTAGES" PLANNED DEVELOPMENT DISTRICT DEVELOPMENT STANDARDS FOR THE COMPLETE REQUIREMENTS.
  2. MINIMUM SINGLE FAMILY GARDEN HOME LOT STANDARDS:  
A. MINIMUM LOT AREA = 3,200 SQUARE FEET  
B. MINIMUM LOT WIDTH = 40 FEET  
C. MINIMUM LOT DEPTH = 40 FEET  
D. MINIMUM LOT FRONT, REAR, SIDE SETBACKS  
FRONT = 15 FEET  
REAR = 15 FEET  
SIDE = 5 FEET  
E. MINIMUM SINGLE HOUSES LOT STANDARDS:  
A. MINIMUM LOT AREA = 2,400 SQUARE FEET  
B. MINIMUM LOT WIDTH = 30 FEET  
C. MINIMUM LOT DEPTH = 40 FEET  
D. MINIMUM LOT FRONT, REAR, SIDE SETBACKS  
FRONT = 15 FEET  
REAR = 15 FEET  
SIDE = 5 FEET
  3. FRONT PORCHES (MINIMUM OF 5 FT. DEEP, 80 SQUARE FEET TOTAL) MAY PROJEKT INTO FRONT YARD AREA, EXTENDING TO WITHIN 10 FT. OF THE PROPERTY LINE. FRONT PORCHES ARE TO BE SET BACK FROM THE PROPERTY LINE BY 10 FEET.
  4. REAR PORCHES (MINIMUM OF 5 FT. DEEP, 80 SQUARE FEET TOTAL) MAY PROJEKT INTO REAR YARD AREA, EXTENDING TO WITHIN 10 FT. OF THE PROPERTY LINE. REAR PORCHES ARE TO BE SET BACK FROM THE PROPERTY LINE BY 10 FEET.
  5. CORNER LOTS: ON STREET SIDE YARD MINIMUM IS 25 FT.

LOT SUMMARY	
TOTAL SITE ACRES	8.7281
NO. OF LOTS	27
LAND USE	RESIDENTIAL/COMMERCIAL
MINIMUM LOT AREA	8,779
SINGLE FAMILY GARDEN HOME LOTS	151 HOMES
MINIMUM HOUSE LOTS	158 HOMES
COMMERCIAL LOT AREA	0.31 ACRES

**KLEIN & COPE**  
**ENGINEERING**  
**INC.**  
REGISTERED PROFESSIONAL ENGINEERS  
IN THE STATE OF TEXAS  
EXPIRATION DATE 12/31/2024



**COTTON COTTAGES BASE ZONING DISTRICT – “R-A1-6.6” SINGLE-FAMILY DISTRICT  
DEVELOPMENT STANDARDS**

<b>Sunday Homes:</b>	Square footage 800-1800 living area Garage 1 car minimum, 2 cars maximum
<b>Single Family Garden Homes:</b>	Square Footage 1200 – 3000 living area Garage 2 car minimum, 3 car maximum

The PDD development is set apart from others by following these guidelines making for a sought after community.

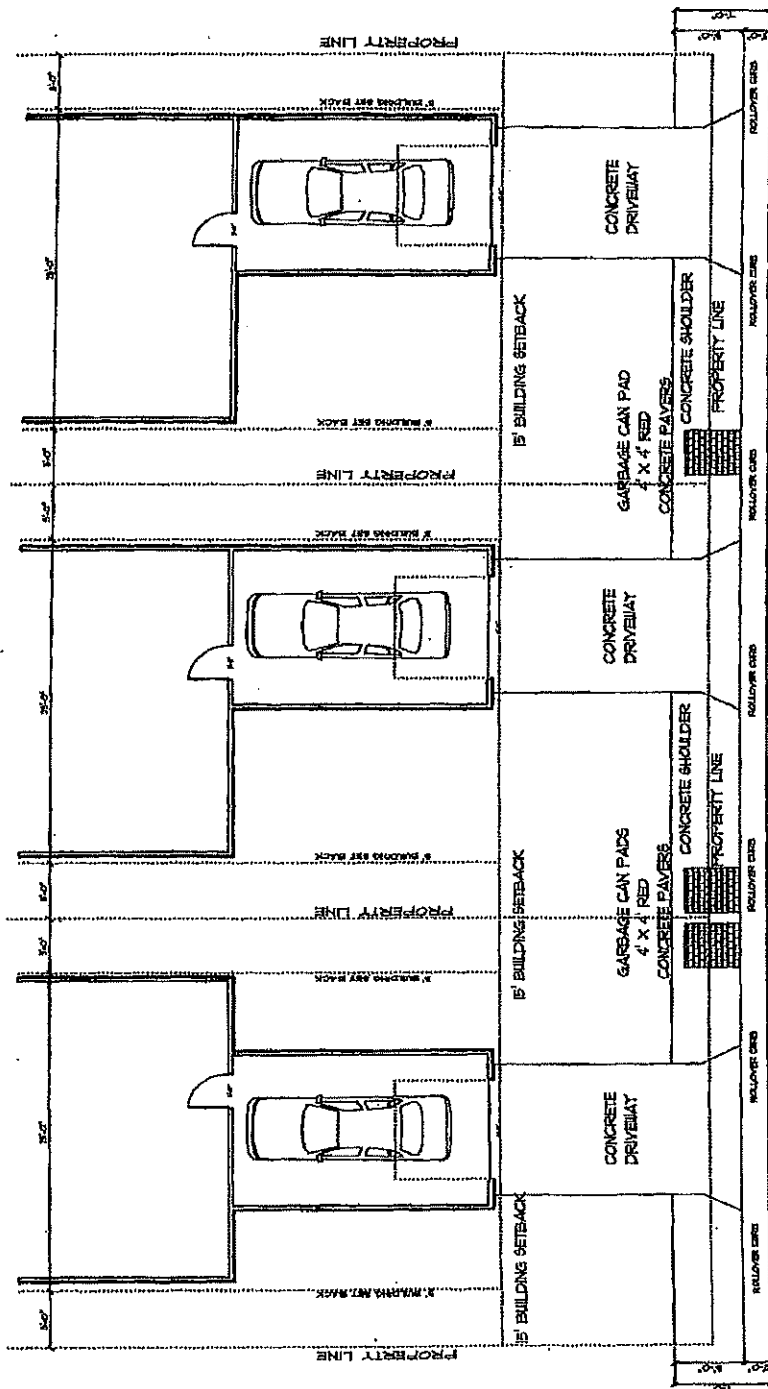
**Front porches:** Required on all homes.

**Garages:** Must enter from alley.

Exception: Lot 1 Blk 5, garage must be set back 30' and face street.

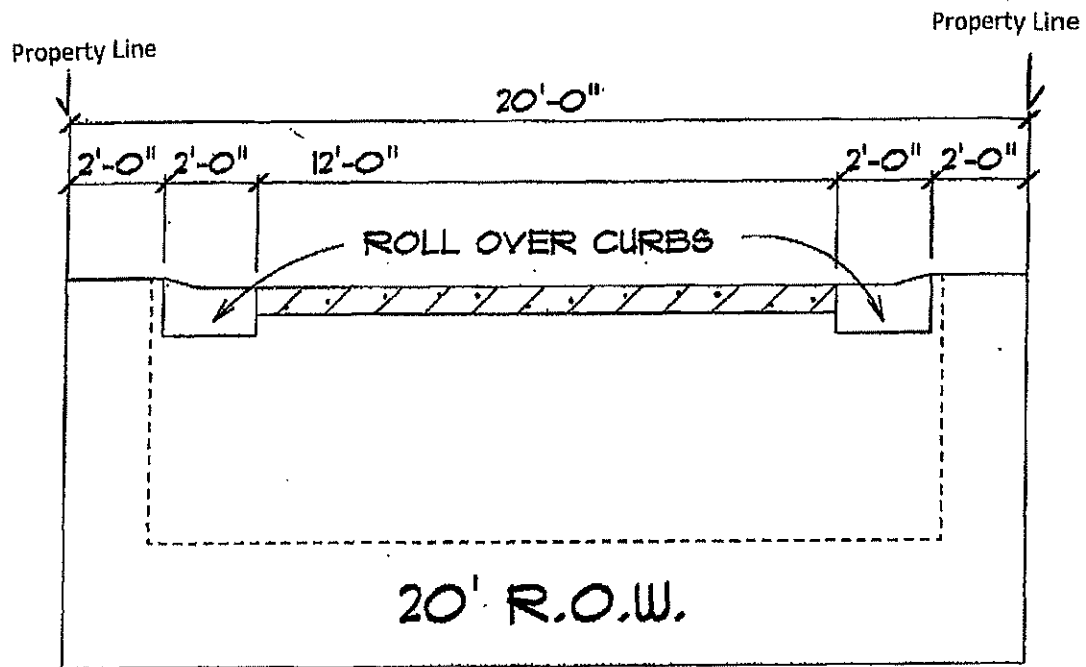
**Alleys:** Rear entry garages, 5' concrete shoulder and curbs. See Details.

# Alley with 5' concrete shoulder detail

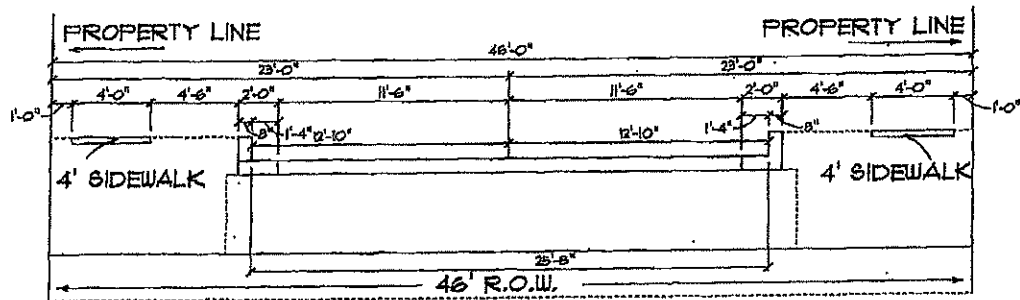




Alley Detail



# Road Detail



Residential Uses – Principal Building Development Standards

Type of Residential	Minimum Lot Area	Minimum Lot Width & Depth	Principal Building Minimum Front, Side and Rear Yard Setbacks	Maximum Height	Maximum Building Coverage	Parking Minimum
SFD-G: Single Family Garden Homes	3600 SF	40FT./ 90FT.	FY: 15 FT. SY: 5 FT. RY: 15 FT.	35 FT. 2.5 Stories	60%	2 spaces/unit enclosed
SFA-C Cottages, Sunday Houses	2400 SF/single unit	30FT/80FT	FY: 15 FT. SY: 5 FT. RY: 15 FT.	25 FT. 2 Stories	60%	1 Space/ Unit enclosed

Notes:

1.) Front porches (minimum of 5ft. deep, 80 square feet total) may project into front yard area, extending to within 10ft. of the property line. Front porches are required on all residential units.

2.) Rear access garages with side loading may be 3 ft. from side property line and 5 ft. from rear property line or 15ft. with garage doors facing alley or private rear access drive. Except: LOT 1 BLK 5, garage must face street with a minimum front setback of 30'

3.) Corner lots: On-street side yard minimum is 8 ft.

4.) Allowable yard projections: (Front porches – see above)

Horizontal- Roof overhangs, bay windows, canopies 12" Minimum, Balconies 5' (front or rear)

Vertical- (above maximum, height), chimneys; 6'; cupolas: 8'; observations towers: 8'

Residential uses - Lot 1, Blk 6, Development Standards

TYPE OF RESIDENTIAL	MIN BLDG SET BACKS	MAX HEIGHT	MAX BLDGS COVERAGE	PARKING
SFA - C COTTAGES CONDO REGIME	15FT. FRONT 15 FT. REAR 10 FT. INTERIOR SIDE* 5FT. SIDE ADJACENT TO ALLEY 10 FT. BETWEEN BUILDINGS	35 FT. / TWO STORY	70%	1 - CAR GARAGE EACH UNIT

- NOTE: 1. FRONT PORCHES AND/OR SIDE OR REAR PATIOS REQUIRED ON ALL UNITS  
2. BALCONIES ALLOWED AT FRONT, REAR OR SIDE OF UNITS  
3. \*NEW CONSTRUCTION ON LOT 1, BLOCK 6 WILL REQUIRE A MINIMUM SETBACK OF 10 FEET  
PLUS ONE-FOOT FOR EACH FOOT OF BUILDING HEIGHT OVER 20 FEET WHERE ADJACENT  
TO A SINGLE FAMILY RESIDENTIAL PROPERTY LINE

Lot 1, Block 7 Development Standards

Outbuilding/ Storage Building	Maximum Height	Maximum Building Coverage
FY: 5 FT. SY: 5 FT. RY: 5 FT.	25 FT. 1 Story	60%

Notes:

- 1.) Front porches may project into front setback 5'.
- 2.) Balconies may project into front and rear set back 5'.

Proposed Street Standards

Street	Design Speed	Classification	ROW	Pavement Width	Curb Type Shoulder	On-Street Parking
Minor Internal	20 MPH	Residential Minor	46 Ft.	23 Ft.	City of New Braunfels Standard Curb	One Side Only
Alley or Private Rear Access Drive	15 MPH	Rear Garage Access way or shared drive	20 - 25 Ft.	16 - 20Ft.	Roll Over & City of New Braunfels Standard Curb	None

NOTES:

- 1.) Pavement (asphalt) widths include 24" wide concrete curb and gutter section.
- 2.) Design speed is not the actual speed limit.

Relationship of these PDD standards to other standards and regulations in the City ordinances.  
Unless specifically described in these regulations, or further described in the Detailed PDD Plan, the applicable provisions of the City's Zoning and Subdivisions Regulations shall apply to the PDD.