

GENERAL NOTES

1. THE PROPOSED LAND USE WITHIN THIS CONCEPT PLAN IS A MIXED USED DEVELOPMENT INCLUDING COMMERCIAL, MULTI-FAMILY, AND HIGH DENSITY RESIDENTIAL.
2. THIS CONCEPT PLAN PROPOSES A 60' RIGHT-OF-WAY MINOR COLLECTOR WITH MULTIFAMILY/COMMERCIAL USE TO CONFORM TO THE NEW BRAUNFELS 2012 REGIONAL TRANSPORTATION PLAN. ALL STREETS OUTSIDE OF THE MINOR COLLECTOR WILL BE THE TYPICAL 50' RIGHT-OF-WAY RESIDENTIAL COLLECTOR / NO PARKING UNLESS OTHERWISE SHOWN.
3. ALL PUBLIC STREETS WILL BE CONSTRUCTED TO THE CITY OF NEW BRAUNFELS DESIGN STANDARDS.
4. ELECTRIC AND UTILITY EASEMENT LOCATIONS WILL BE DETERMINED DURING THE ENGINEERING DESIGN PHASE OF THE PROJECT. EASEMENTS WILL BE RECORDED WITH THE FINAL PLAT FOR EACH LOT.



LOCATION MAP
N.T.S.

KFW
ENGINEERS + SURVEYING
10000 Highway 281, Suite 100
New Braunfels, TX 78130
Phone #: (210) 979-8444 • Fax #: (210) 979-8441
TBPE Firm #: 9513 • TBPE S Firm #: 1012300

ISSUE DATE

REVISIONS

**SOLMS LANDING - CONCEPT PLAN
PLANNED DEVELOPMENT DISTRICT
NEW BRAUNFELS, TX.**

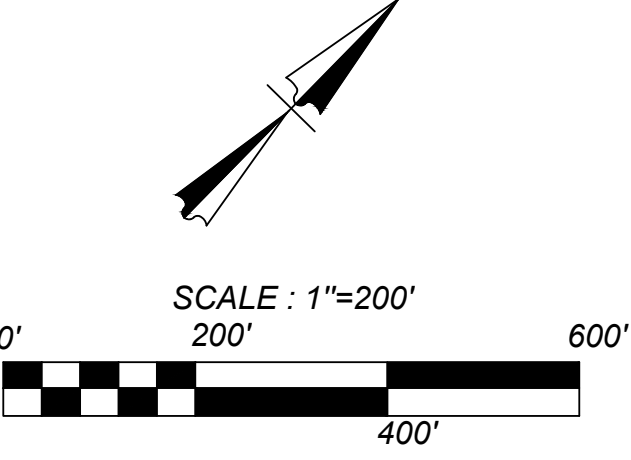
JOB NO. 583-01-01

DATE: DECEMBER 2016

DRAWN: NR CHECKED: BW

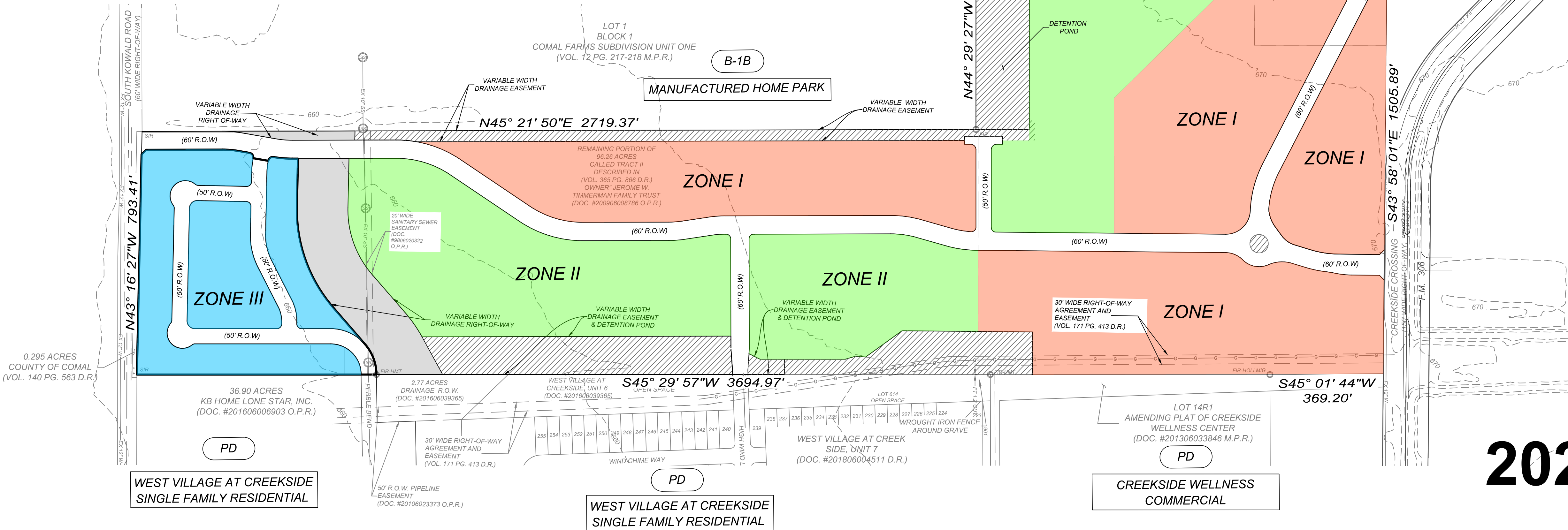
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PDD



LAND USE	ACRES	DWELLING UNITS	REQUIRED PARKLAND DEDICATION	DENSITY (DWELLING UNITS/ACRE)
DRAINAGE/Common AREA	12.070	-	-	-
UNIT 1A - SINGLE FAMILY RESIDENTIAL	9.850	60	0.4	6.09
COMMERCIAL	17.990	-	-	-
HIGH DENSITY RESIDENTIAL	10.920	110	0.73	10.07 *
MIXED USE (COMMERCIAL & MULTI-FAMILY)	24.570	472	3.15	19.21 *
MULTI-FAMILY	11.270	342	2.28	30.35 *
DRAINAGE R.O.W.	3.280	-	-	-
PUBLIC R.O.W. (STREETS)	8.020	-	-	-
TOTAL =	97.97	984	6.56	10.04

* NOTE: INDIVIDUAL DENSITY REPRESENTED ABOVE IS CALCULATED BASED ON THE OVERALL COMBINED ACREAGE FOR EACH GENERAL LAND USE, AND IS NOT INTENDED TO BE THE MAXIMUM DENSITY FOR EACH MULTI-FAMILY AND/OR HIGH DENSITY RESIDENTIAL PARCEL. MAXIMUM DENSITY FOR EACH MULTI-FAMILY AND/OR HIGH DENSITY RESIDENTIAL PARCEL SHALL BE BASED ON THE ZONING STANDARDS AND GUIDELINES FOR THE SOLMS LANDING PLANNED DEVELOPMENT DISTRICT.

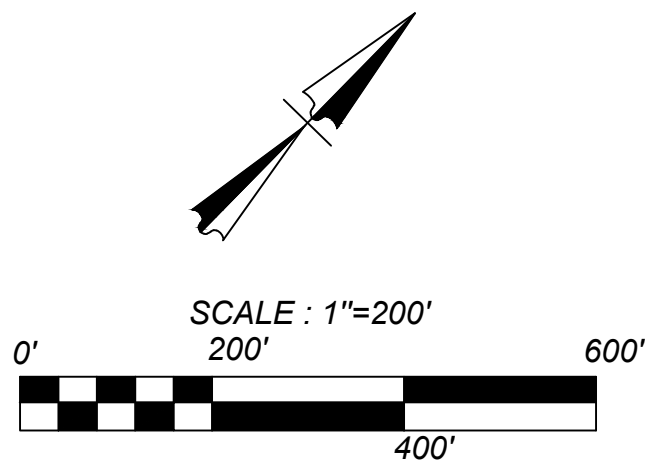


OWNER/DEVELOPER:
SOLMS LANDING, LLC
648 S CASTELL AVE
NEW BRAUNFELS, TX
PHONE: (830) 387-4110

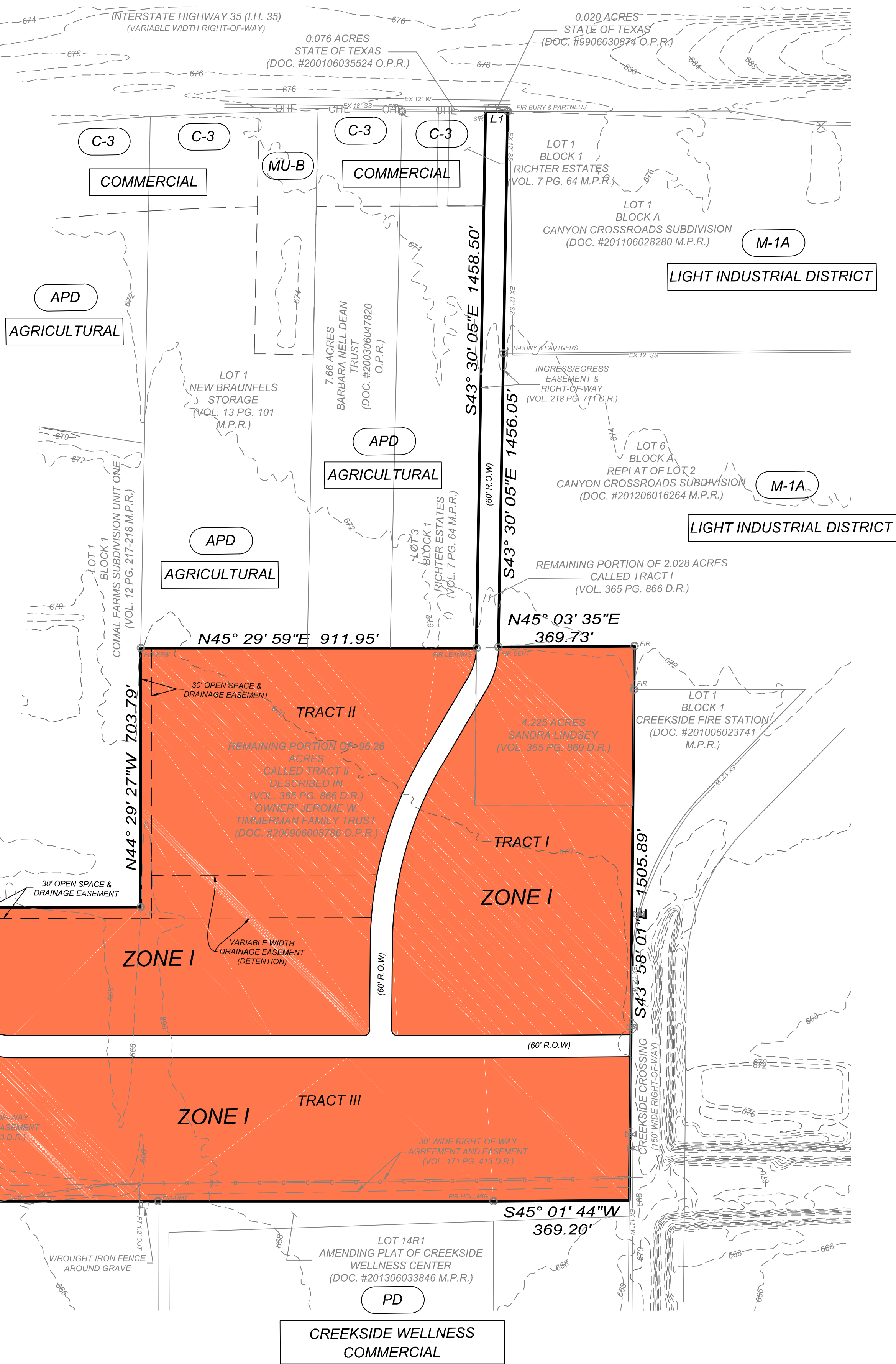
ENGINEER:
KFW ENGINEERS
3421 PAESANOS PKWY, STE. 200
SAN ANTONIO, TX 78231
PHONE: (210) 979-8444
FAX: (210) 979-8441

2020

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LAND USE	ACRES	DWELLING UNITS	PARKLAND DEDICATION	DENSITY (DWELLING UNITS/ACRE)
DRAINAGE/OPEN SPACE	7.996	-	-	-
PUBLIC FACILITY	3.685	-	-	-
COMMERCIAL	30.905	-	-	-
MIXED USE (COMMERCIAL & HIGH DENSITY RESIDENTIAL)	16.69	150	1.00	8.99
MIXED USE (COMMERCIAL & MULTI-FAMILY)	26.497	525	3.50	19.81
DRAINAGE R.O.W.	2.295	-	-	-
PUBLIC R.O.W. (STREETS)	9.902	-	-	-
TOTAL =	97.97	675	4.50	15.63



LEGEND

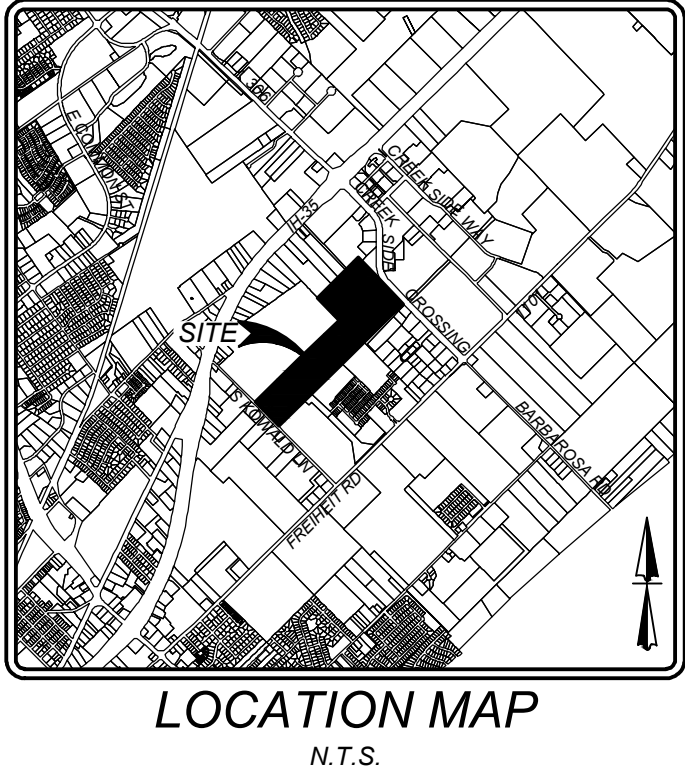
- [Orange Box] = MU-B ZONE I
- [Green Box] = MU-B ZONE II
- [Blue Box] = MU-B ZONE III
- [Arrow] = PROJECTED RIGHT-OF-WAY
- [R-2] = SURROUNDING ZONING
- [Agricultural Label] = SURROUNDING LAND USE
- [Line with SS] = EXISTING SEWER LINE
- [Line with SS] = EXISTING SEWER MANHOLE
- [Line with W] = EXISTING WATER MAIN
- [Line with G] = EXISTING GAS MAIN
- [Line with Fire Hydrant] = EXISTING FIRE HYDRANT
- [Line with OHU] = EXISTING OVERHEAD UTILITY
- [Line with OHE] = EXISTING OVERHEAD ELECTRIC
- [Line with 672] = EXISTING 2' CONTOURS

Line Table		
LINE #	LENGTH	DIRECTION
L1	60.01'	N45°22'17"E

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KFW ENGINEERS
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SAN ANTONIO, TX 78231
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2017



CONCEPT PLAN - SOLMS LANDING
PLANNED DEVELOPMENT DISTRICT
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