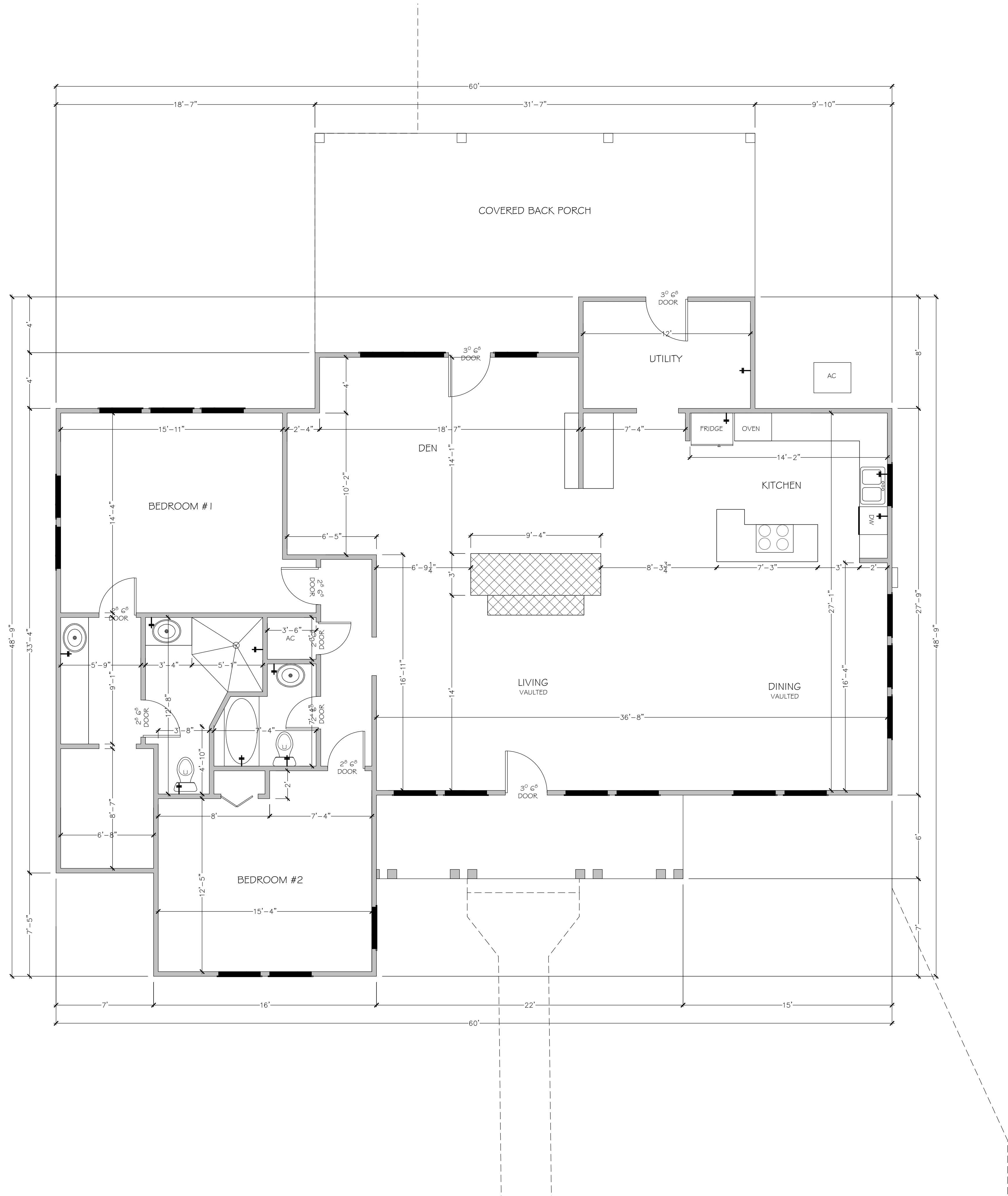




DATE	REVISION

DRAWN BY:
CHRISTIAN LAJJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
EXISTING FLOOR PLAN

SQUARE FOOTAGES

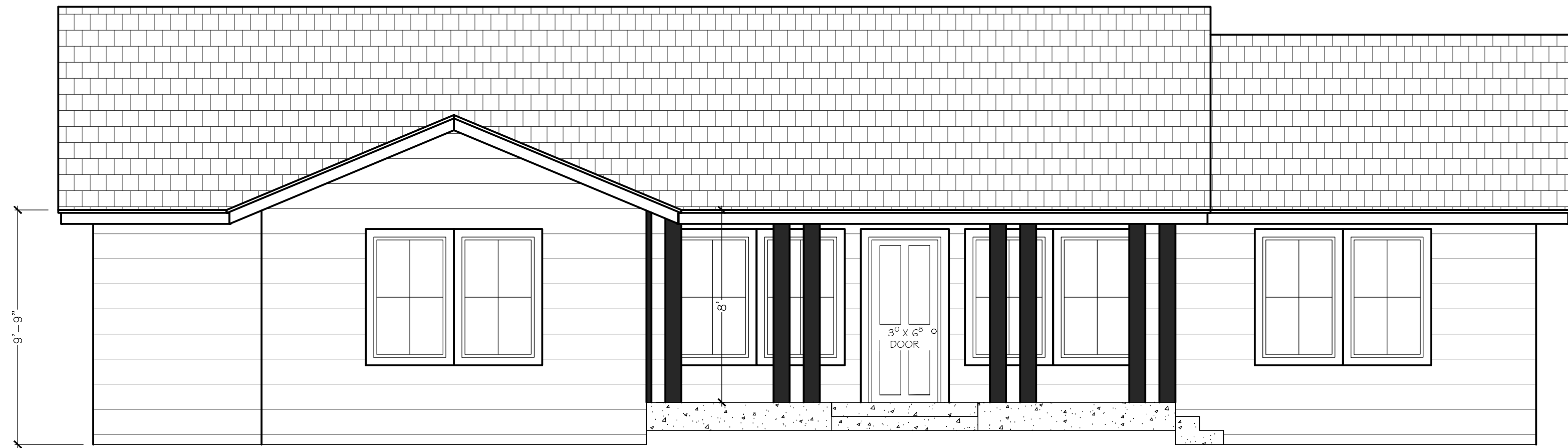
HEATED	2,092
FRONT PORCH	132
BACK PORCH	446

TOTAL	2,670
-------	-------

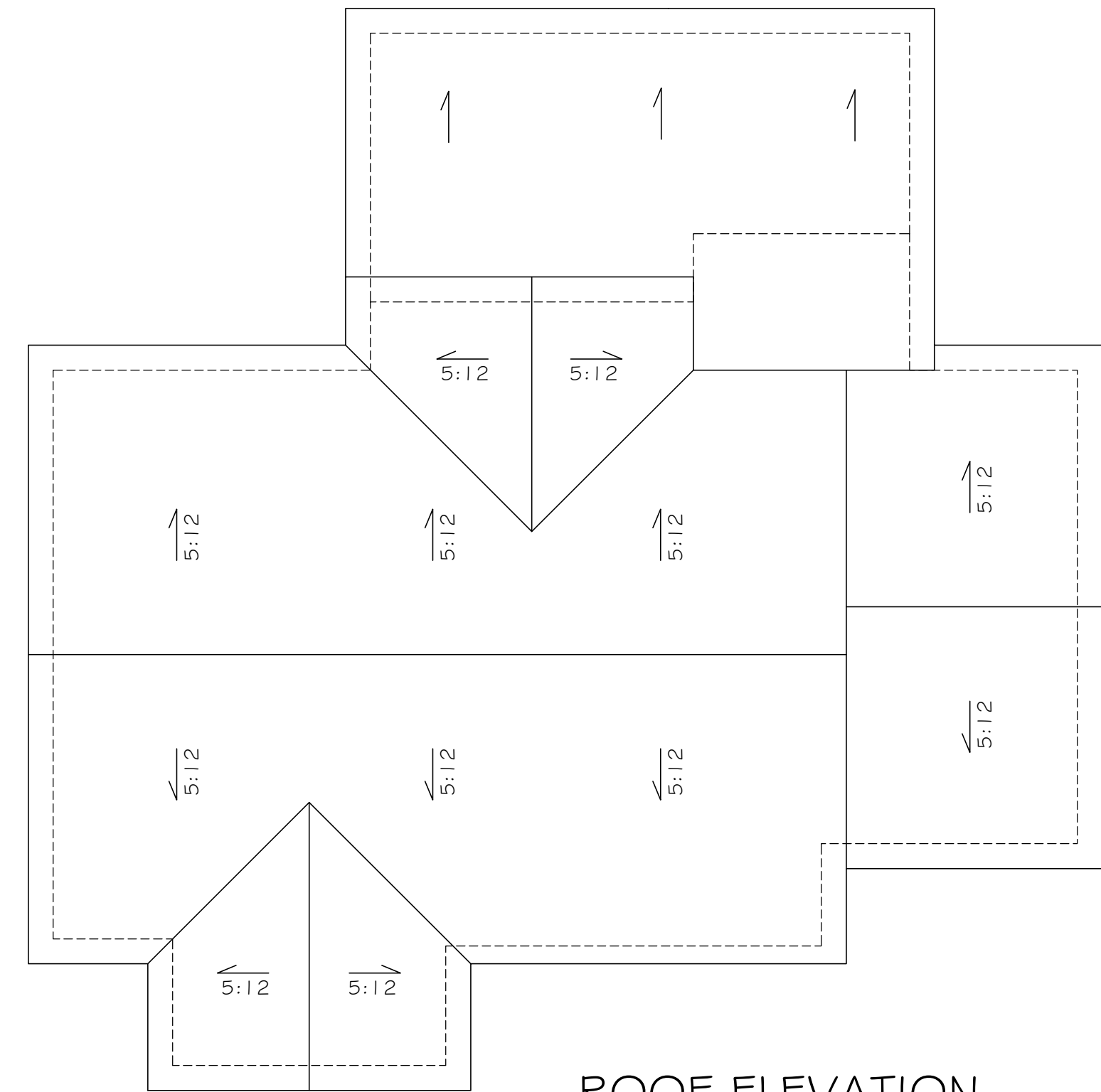
SCALE : $\frac{1}{8}" = 1'$

DATE DRAWN
JAN 2021

SHEET
A1.0



FRONT ELEVATION



ROOF ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

DATE	REVISION

DRAWN BY:
CHRISTIAN LAJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
EXISTING ELEVATIONS

SQUARE FOOTAGES

HEATED	2,092
FRONT PORCH	132
BACK PORCH	446

TOTAL	2,670
-------	-------

SCALE : $\frac{1}{8}$ " = 1'

DATE DRAWN
JAN 2021

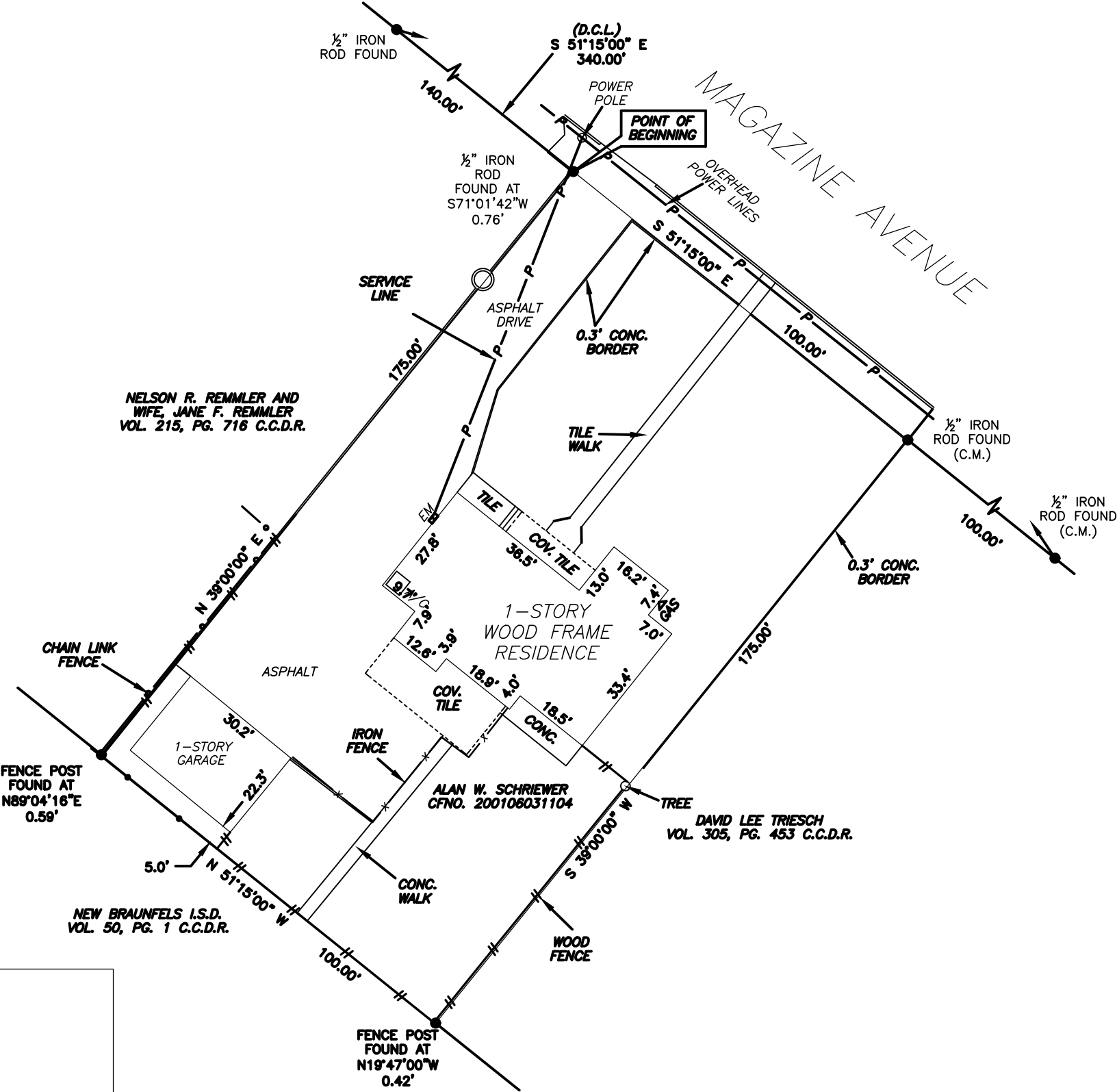
SHEET

A2.0

GF NO. 1764NB TRINITY TITLE OF TEXAS
ADDRESS: 456 MAGAZINE AVENUE
NEW BRAUNFELS, TEXAS 78130
BORROWER: RYAN NEESE

0.4017 ACRE
(17,500 SQUARE FEET)
IN THE CITY OF NEW BRAUNFELS, COMAL COUNTY, TEXAS
BEING OUT OF A SUBDIVISION NO. 1 OF THE
J. M. VERAMONDI TWO LEAGUE SURVEY NO. 1, ABSTRACT NO. 2
AND KNOWN AND DESIGNATED ON THE MAP OF SAID CITY AS
LOT "G", OUT OF NEW CITY BLOCK NO. 4060
(SEE ATTACHED METES AND BOUNDS DESCRIPTION)

SCALE: 1" = 40'



THIS PROPERTY DOES NOT LIE WITHIN THE
100 YEAR FLOOD PLAIN AS PER FIRM
PANEL NO. 48081C 0455 F
MAP REVISION: 09/02/2009
ZONE X
BASED ONLY ON VISUAL EXAMINATION OF MAPS.
INACCURACIES OF FEMA MAPS PREVENT EXACT
DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION
WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
RECORD BEARING: CF NO. 200108031104

DRAWN BY: LH

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
ON THE GROUND, THAT THIS PLAT CORRECTLY
REPRESENTS THE FACTS FOUND AT THE
TIME OF SURVEY AND THAT THERE ARE NO
ENCROACHMENTS APPARENT ON THE GROUND.
EXCEPT AS SHOWN HEREON, THIS SURVEY IS
CERTIFIED FOR THIS TRANSACTION ONLY AND
ABSTRACTING PROVIDED IN THE ABOVE
REFERENCED TITLE COMMITMENT WAS RELIED
UPON IN PREPARATION OF THIS SURVEY.

TERRANCE MSH
PROFESSIONAL LAND SURVEYOR
NO. 4981
JOB NO. S42014-02816
DECEMBER 2, 2014



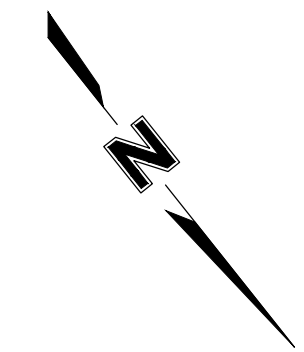
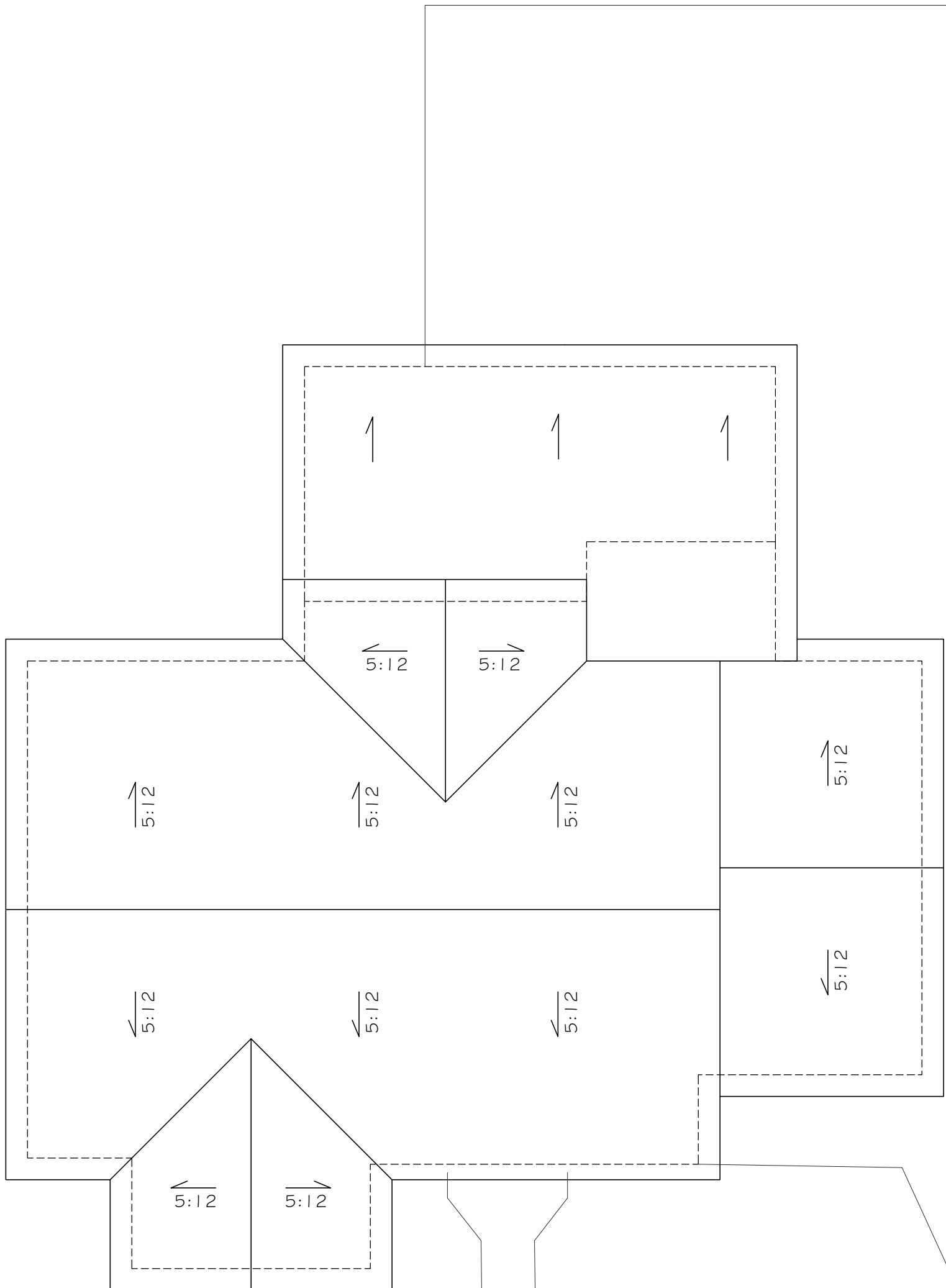
PRECISION
surveyors



RENAY SMITH
830-608-1551



1-800-LANDSURVEY
www.precisionsurveyors.com
281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
950 THREKINDEE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 MCLOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217
FIRM NO. 10063700



DATE	REVISION

DRAWN BY:
CHRISTIAN LAJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
EXISTING SITE PLAN

SQUARE FOOTAGES

HEATED	2,092
FRONT PORCH	132
BACK PORCH	446

TOTAL 2,670

SCALE: 1/8" = 1'

DATE DRAWN
JAN 2021

SHEET
A3.0

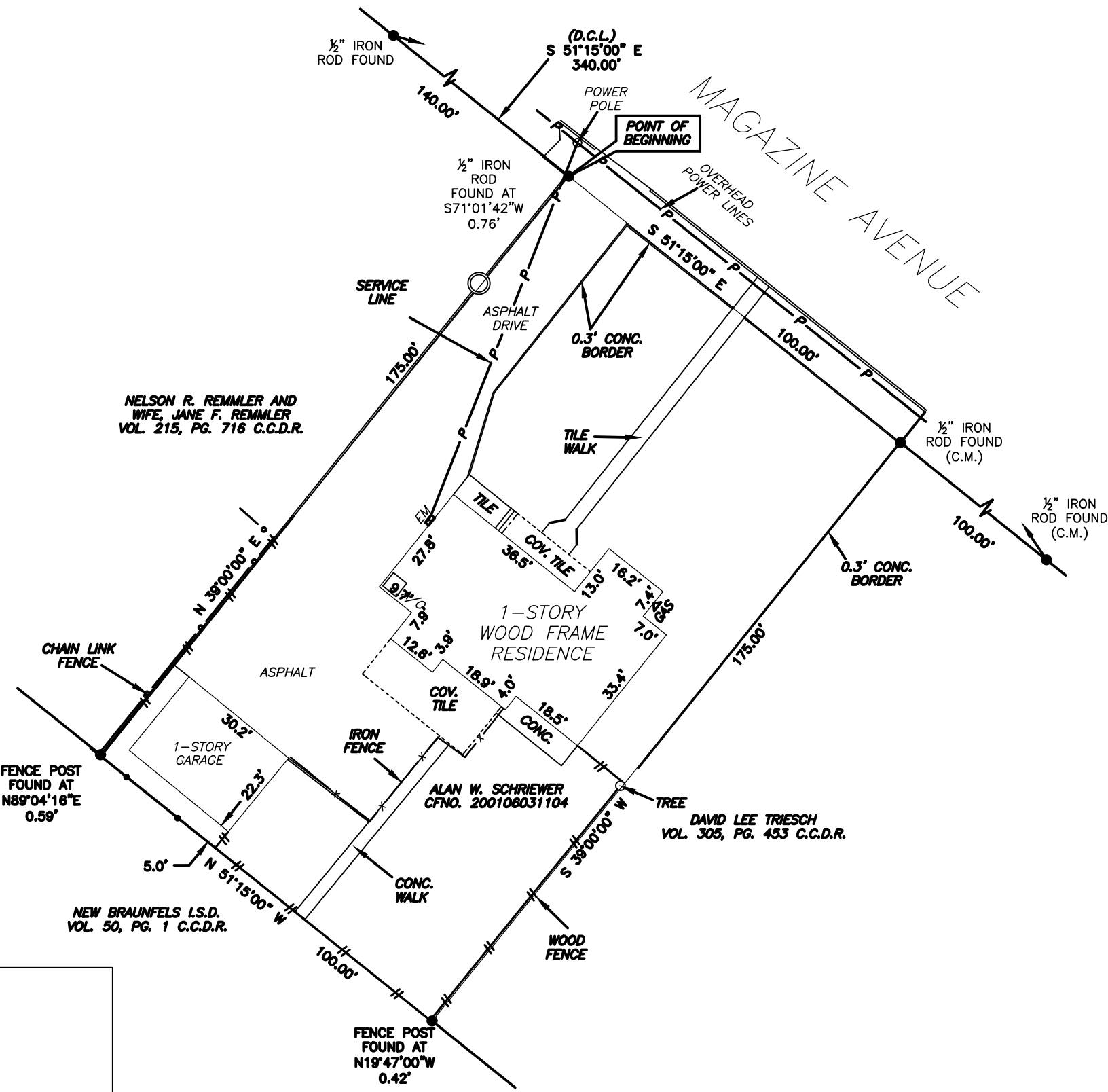
NOTE:
1. REFERENCE RECORDED PLAT INFORMATION FOR BEARING AND DISTANCE
VERIFICATION.

MAGAZINE AVENUE

GF NO. 1764NB TRINITY TITLE OF TEXAS
ADDRESS: 456 MAGAZINE AVENUE
NEW BRAUNFELS, TEXAS 78130
BORROWER: RYAN NEESE

0.4017 ACRE
(17,500 SQUARE FEET)
IN THE CITY OF NEW BRAUNFELS, COMAL COUNTY, TEXAS
BEING OUT OF A SUBDIVISION NO. 1 OF THE
J. M. VERAMONDI TWO LEAGUE SURVEY NO. 1, ABSTRACT NO. 2
AND KNOWN AND DESIGNATED ON THE MAP OF SAID CITY AS
LOT "G", OUT OF NEW CITY BLOCK NO. 4060
(SEE ATTACHED METES AND BOUNDS DESCRIPTION)

SCALE: 1" = 40'



THIS PROPERTY DOES NOT LIE WITHIN THE
100 YEAR FLOOD PLAIN AS PER FIRM
PANEL NO. 48081C 0455 F
MAP REVISION: 06/02/2009
ZONE X
BASED ONLY ON VISUAL EXAMINATION OF MAPS.
INACCURACIES OF FEMA MAPS PREVENT EXACT
DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION
WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
RECORD BEARING: OF NO. 200108031104

DRAWN BY: LH

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
ON THE GROUND, THAT THIS PLAT CORRECTLY
REPRESENTS THE FACTS FOUND AT THE
TIME OF SURVEY AND THAT THERE ARE NO
ENCROACHMENTS APPARENT ON THE GROUND.
EXCEPT AS SHOWN HEREON, THIS SURVEY IS
CERTIFIED FOR THIS TRANSACTION ONLY AND
ABSTRACTING PROVIDED IN THE ABOVE
REFERENCED TITLE COMMITMENT WAS RELIED
UPON IN PREPARATION OF THIS SURVEY.

TERRANCE MISH
PROFESSIONAL LAND SURVEYOR
NO. 4981
JOB NO. 542014-02816
DECEMBER 2, 2014



PRECISION
surveyors

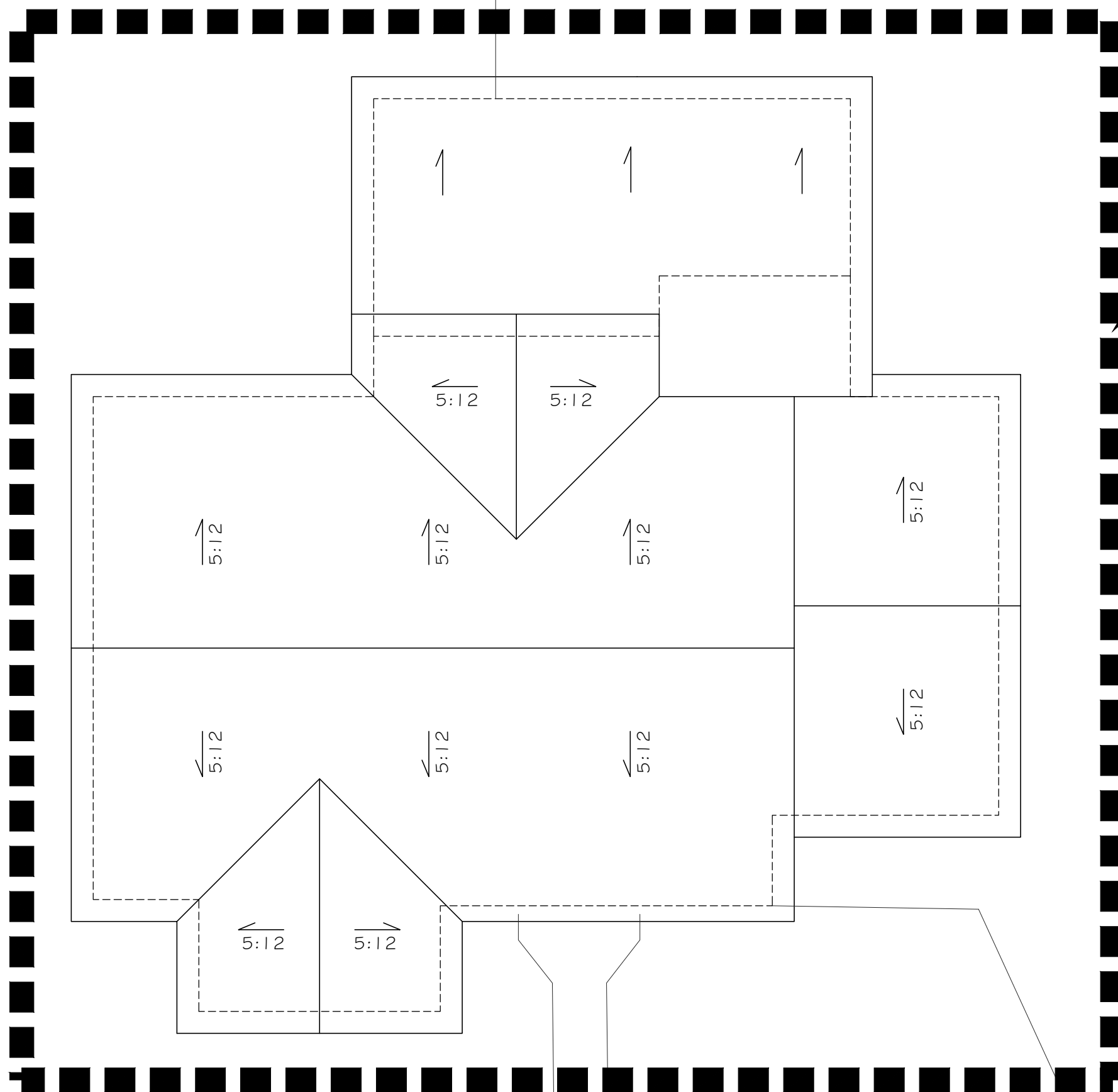


RENAY SMITH
830-608-1551



1-800-LANDSURVEY
www.precisionsurveyors.com
281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
950 THREKINDEE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 MC LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217
FIRM NO. 10063700

EXISTING HOME
TO BE DEMOLISHED



DATE	REVISION

DRAWN BY:
CHRISTIAN LAJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
DEMOLITION PLAN

SQUARE FOOTAGES

HEATED	2,092
FRONT PORCH	132
BACK PORCH	446

TOTAL 2,670

SCALE: 1/8" = 1'

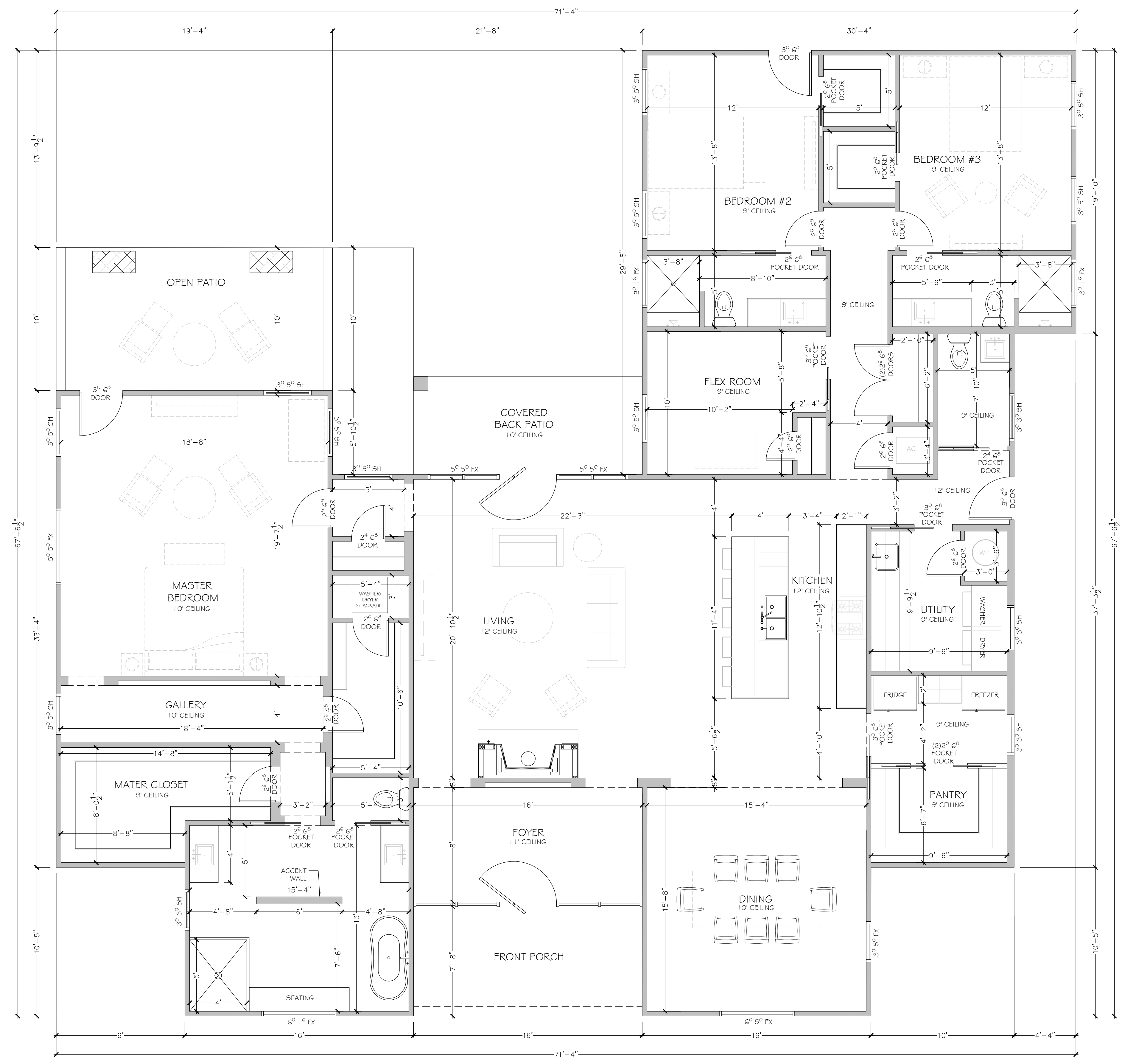
DATE DRAWN
JAN 2021

SHEET

A4.0

NOTE:
1. REFERENCE RECORDED PLAT INFORMATION FOR BEARING AND DISTANCE
VERIFICATION.

MAGAZINE AVENUE



DATE	REVISION

DRAWN BY:
CHRISTIAN LAJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
PROPOSED FLOOR PLAN - MAIN HOUSE

SQUARE FOOTAGES

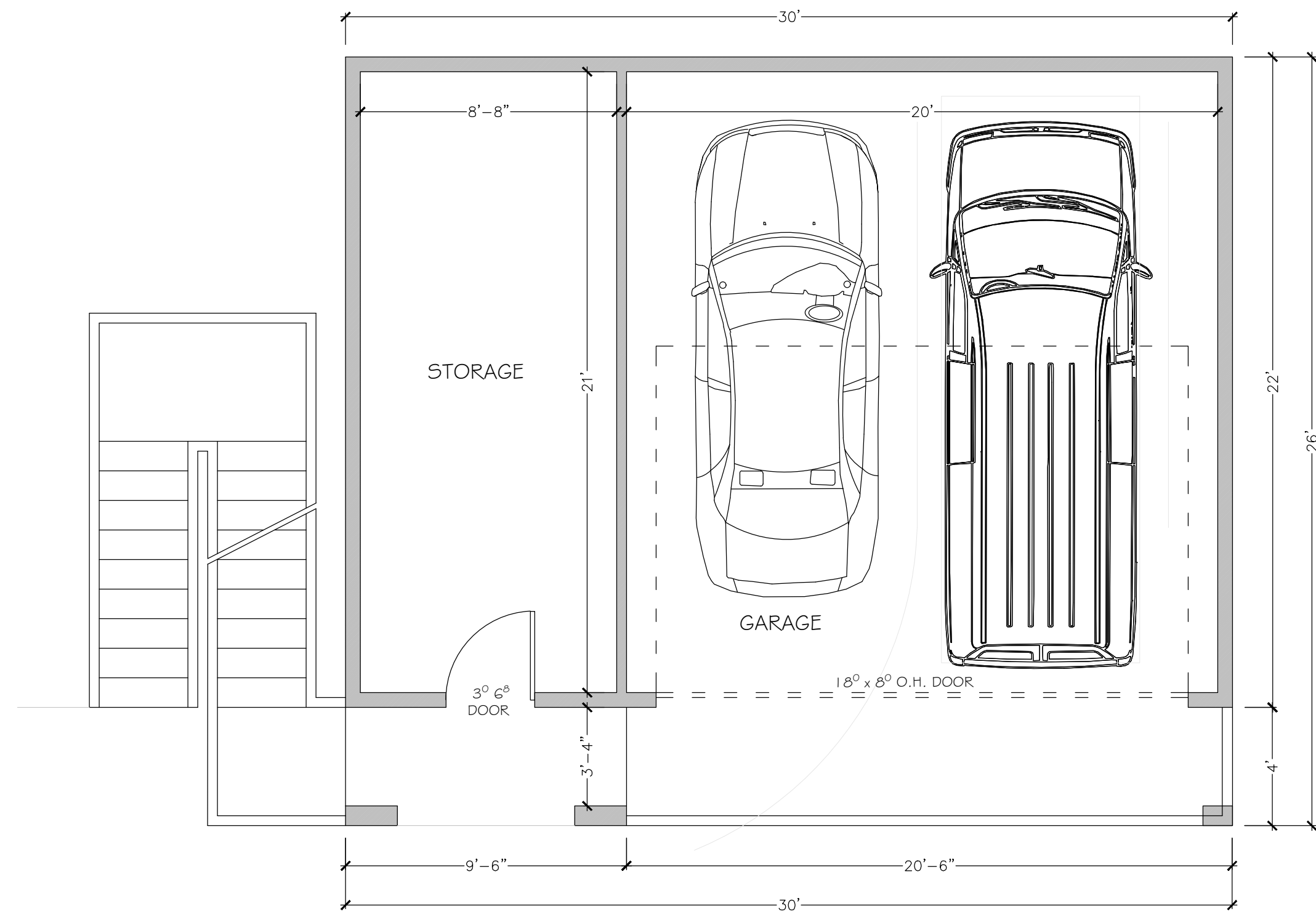
HEATED	3,182
FRONT PORCH	117
BACK PATIO	122

TOTAL	3,421
-------	-------

SCALE : 1/8" = 1'

DATE DRAWN
JAN 2021

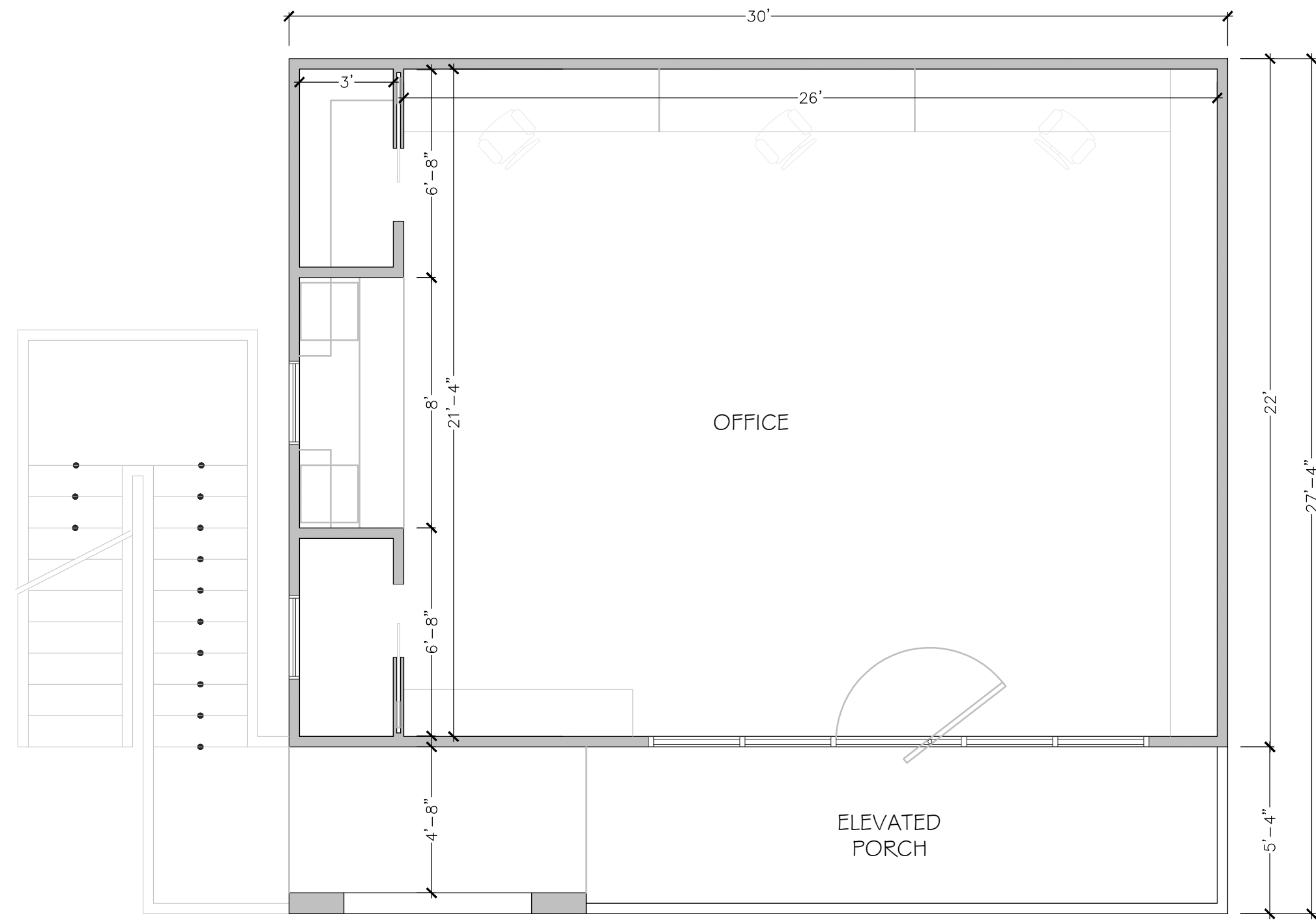
SHEET
A5.0



1ST FLOOR



FRONT ELEVATION



2ND FLOOR

DATE	REVISION

DRAWN BY:
CHRISTIAN LAJJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
PROPOSED FLOOR PLAN - GARAGE & OFFICE

SQUARE FOOTAGES

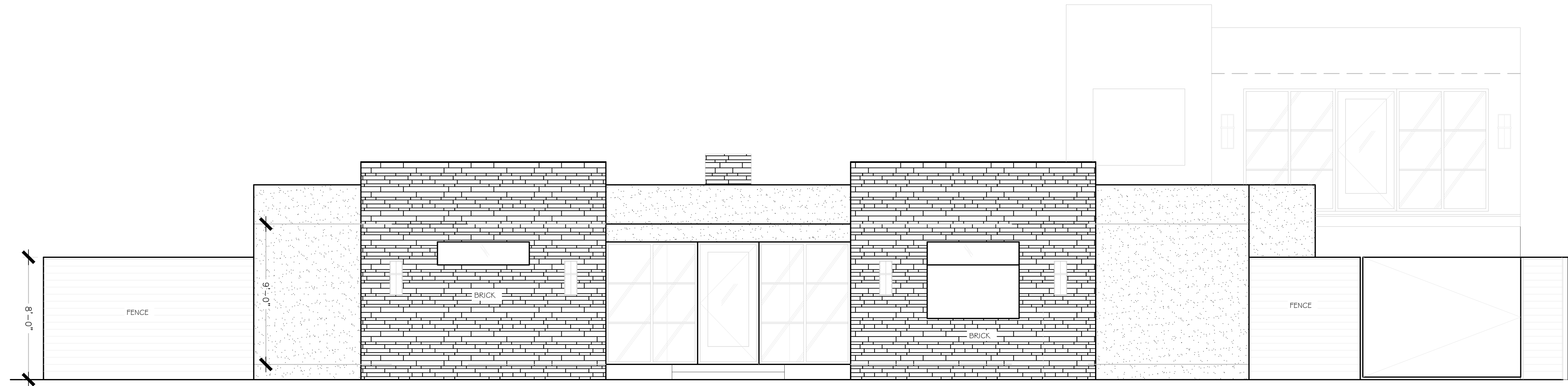
OFFICE	660
GARAGE	451
STORAGE	209
ELEVATED PATIO	160

TOTAL	1,480
-------	-------

SCALE : 1/8" = 1'

DATE DRAWN
JAN 2021

SHEET
A6.0



FRONT ELEVATION

DATE	REVISION

DRAWN BY:
CHRISTIAN LAJJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
PROPOSED FRONT ELEVATION

SQUARE FOOTAGES

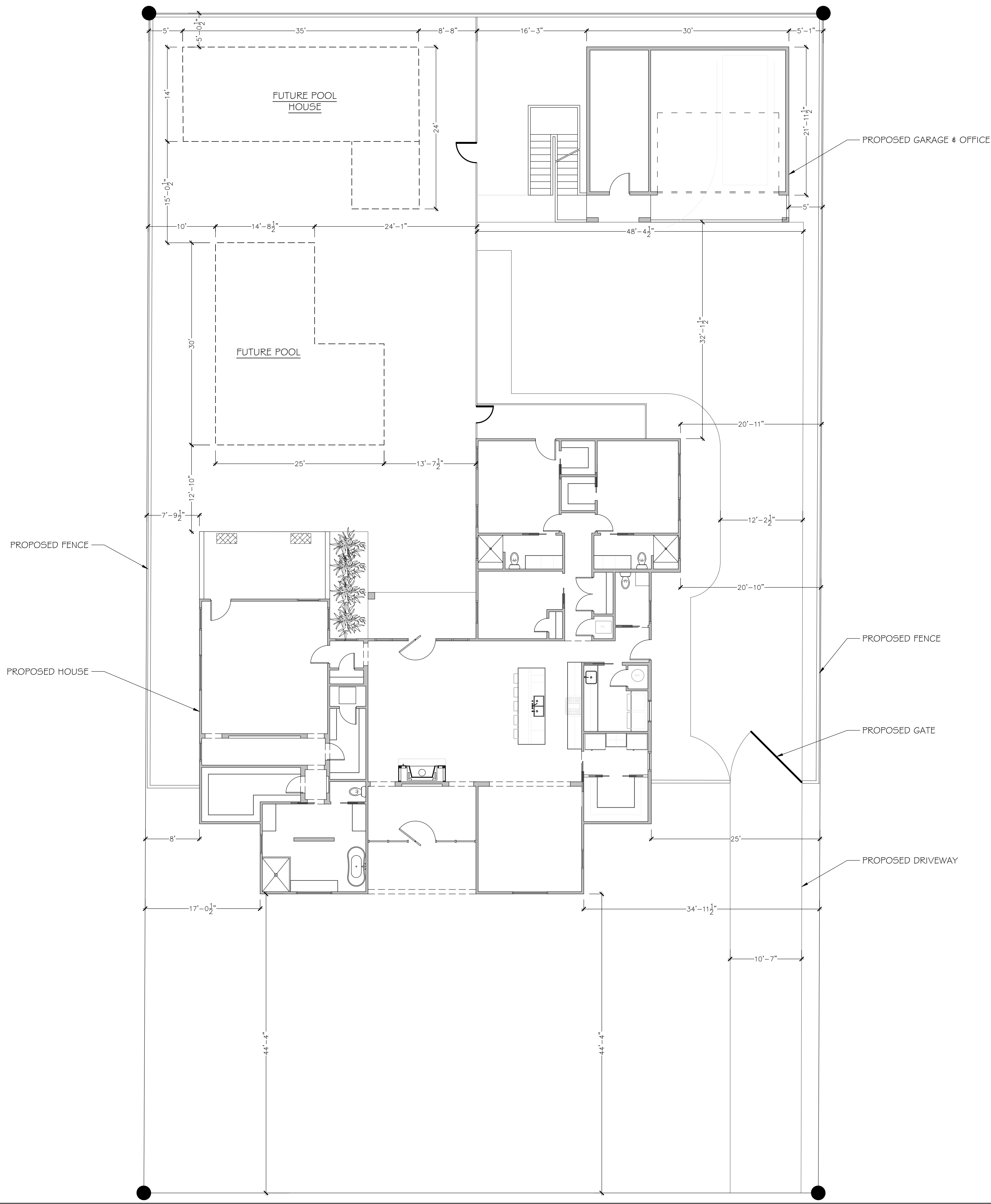
HEATED	3,182
FRONT PORCH	117
BACK PATIO	122

TOTAL 3,421

SCALE : 1/8" = 1'

DATE DRAWN
JAN 2021

SHEET
A7.0



DATE	REVISION

DRAWN BY:
CHRISTIAN LAJAS

McWHIRTER RESIDENCE
456 MAGAZINE AVE. - NEW BRAUNFELS, TEXAS
PROPOSED SITE PLAN

SQUARE FOOTAGES	
HEATED	3,182
FRONT PORCH	117
BACK PATIO	122
TOTAL	3,421
SCALE : 1/8" = 1'	

DATE DRAWN
JAN 2021

SHEET
A8.0