

GENERAL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND ALL EXISTING ON-SITE CONDITIONS. THE CONTRACTOR SHALL REPORT TO KOKANEE SOLUTIONS ANY ERRORS, INCONSISTENCIES OR OMISSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION.

2. REPORT ALL DISCREPANCIES, ERRORS, OR OMISSIONS IN THE DOCUMENTS TO KOKANEE SOLUTIONS OR BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR COMMENCEMENT OF CONSTRUCTION.

3. ALL WORK SHALL BE PERFORMED AND COMPLETED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.

4. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE PROJECT. THE GENERAL CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.

5. GENERAL CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR PLANS SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE GENERAL CONTRACTOR OR ANY OF THEIR REPRESENTATIVES.

6. FINAL SELECTIONS FOR ALL FINISHES, FINISH MATERIALS, COLORS, TEXTURES, ETC. SHALL BE MADE BY THE OWNER.

7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS NOTED OTHERWISE. INSTALL DOORS AND WINDOWS PER MANUFACTURER'S INSTRUCTIONS.

8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.

9. PROVIDE ATTIC VENTING AS REQUIRED BY LOCAL CODES.

10. TEMPERED GLASS SHALL BE USED AT WINDOWS ABOVE BATHS, SHOWERS, ANY WINDOWS IN DOORS, ANY WINDOWS WITHIN 24" OF DOORS, AND AT ALL WINDOWS GREATER THE 9 SQUARE FEET THAT ARE WITHIN 18" OF THE FLOOR.

11. ALL ANGLED WALLS 45° UNLESS OTHERWISE NOTED.

12. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. PLEASE REPORT ERRORS OR QUESTIONS TO KOKANEE SOLUTIONS FOR CLARIFICATION.

13. MECHANICAL, ELECTRICAL AND PLUMBING SHOWN ON THE PLAN ARE SCHEMATIC AND INDICATE INTENT AND SCOPE OF WORK ONLY. EACH SUBCONTRACTOR IS RESPONSIBLE FOR INSTALLING EQUIPMENT WHICH MEETS ALL APPLICABLE CODES.

14. ALL DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.

15. ALL UNBRACED STUD WALLS IN EXCESS OF 11'-0" TALL WILL BE MIN. OF 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL OTHER WOOD STUD WALLS WILL BE 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE.

16. PROVIDE SOUND ATTENUATING BATTS AROUND ALL BATHROOMS AND MECHANICAL EQUIPMENT SPACES, TYPICAL.

17. VERIFY AND COORDINATE ALL HVAC AND PLUMBING VENTS, DUCTS AND REGISTERS WITH STRUCTURAL DRAWINGS AND NOTES PRIOR TO CONSTRUCTION.

18. ALL ELEVATION PLATE HEIGHTS INDICATED ARE NOMINAL DIMENSIONS.

19. DOOR LOCATIONS - UNLESS NOTED OTHERWISE, PLACE DOORS 6" FROM ADJACENT WALL OR IN CENTER OF TWO ADJACENT WALLS SUCH AS IN A HALLWAY.

20. VERIFY FINAL SLAB DROPS WITH FINAL FLOOR MATERIAL SELECTIONS BY OWNER.

21. FINAL WINDOW SIZES MAY VARY WITH MANUFACTURER CHOSEN. IF WINDOW SIZE CHANGES MORE THAN 4" , PLEASE NOTIFY KOKANEE SOLUTIONS FOR CONFIRMATION OF SIZE FOR DESIGN INTENT.

22. ROOF VENT- PLACE ALL VERTICAL PIPES TO REAR OF BUILDING WHERE POSSIBLE.

23. ROOF OVERHANGS- ALL ROOF OVERHANGS ARE MEASURED FROM THE OUTSIDE FACE OF FRAMING STUDS.

24. DOORS FROM THE GARAGE INTO THE RESIDENCE SHALL BE EITHER 1 3/8" SOLID WOOD, 1 3/8" SOLID STEEL, 1 3/8" HONEYCOMB STEEL, OR 20 MINUTE FIRE RATED.

25. GARAGES WITH HABITABLE ROOMS ABOVE MUST USE 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT TO SEPARATE ALL HABITABLE SPACES.

26. WHEN PLAN INCLUDES ELEVATOR, BUILDER TO VERIFY ALL SPECIFICATIONS INC. ELECTRICAL, PHONE, AND PIT REQUIREMENTS WITH THE MANUFACTURER.

27. WINDOW SIZES SHOWN AT EGRESS AREAS MEET GENERAL EGRESS REQUIREMENTS, HOWEVER BUILDER TO VERIFY WITH INDIVIDUAL MANUFACTURER.

28. EXTERIOR PLASTER- INSTALL PER LOCAL CODES- THIS SHALL INCLUDE CONTROL JOINTS AS PER ASTM C1063 AND WEEP SCREEDS PER ASTM C926.

29. ATTIC ACCESS- PROVIDE MINIMUM 22" X 30" ACCESS AS NOTED AND WHERE REQUIRED BY CODE.

30. FOR ALL CITY OF AUSTIN PERMITTED PROJECTS ONE FIRST FLOOR POWDER OR BATH MUST HAVE MINIMUM 30" CLEAR OPENINGS AND BLOCKING AT WALLS FOR FUTURE HAND RAILS.

31. DROP INDICATORS ARE FROM CONCRETE TO CONCRETE UNLESS DOORS SWING TOWARDS THE OUTSIDE. THEN 1 1/2" DROP MAXIMUM FINISH TO FINISH.

SQUARE FOOTAGE (SINGLE UNIT)	
MAIN LEVEL LIVING	1056 SF
UPPER LEVEL LIVING	520
TOTAL LIVABLE	1576 SF
COVERED FRONT PORCH SLAB	64 SF
TOTAL SLAB	1120 SF
TOTAL COVERED	1640 SF
UNCOVERED REAR STOOP	16 SF
MOTOR COURT SLAB	TBD SF
WALKWAY SLABS	TBD SF
AC UNIT/ GD SLAB	TBD SF
DRIVEWAY(TO PROP. LINE)	TBD± SF
ACTUAL FLATWORK WILL VARY DEPENDANT TO SITE CONDITIONS	

ABBREVIATIONS

AFF Above Finish Floor
Addn. Additional
A.H.U. Air Handling Unit
Alum. Aluminum
Approx. Approximate
Arch. Architect, Architectural

Bm. Beam
Brig. Bearing
Blkg. Blocking
Bd. Board
Bldg. Building
B.L. Building Line
B.O.B. Bottom of Beam
B.O.S. Bottom of Steel

Cab. Cabinet
Cant. Cantilever
Cpt. Carpet
Clg. Ceiling
C.L. Ceiling
C.T. Ceramic Tile
Clo. Closet
Col. Column
Conc. Concrete
C.M.U. Concrete Masonry Unit
C.J. Control Joint
Cont. Continuous

Det. Detail
Dia. Diameter
Dim. Dimension
DBL. Double
Dn. Down
D.S. Downspout
Dwg. Drawing
DR. Dryer
D.W. Dishwasher

Ea. Each
E.J. Expansion Joint
Elec. Electrical
Elev. Elevation
Equip. Equipment
Exist. Existing
Ex. Expansion
Ext. Extension
Exh. Exhaust fan

F.A.R. Framing As Required
FL.D. Floor Drain
Fdn. Foundation
Fin. Finish
Fkt. Fixture
Flex. Flexible
Flr. Floor
Ftg. footing
Furr. Furring
F.D. Furr Down
F.V. Field verify
F.F. Finish floor

Ga. Gauge
Galv. Galvanized
Gen. General
Gl. Glass, glazing
Gyp. Gypsum

H.B. Hose Bib
H.C. Hollow Core
Hdw. Hardware
Hd. Head
Horiz. Horizontal
Ht. Height
H.H. Head height

I.M. Ice Maker
I.D. Inside Diameter
Insul. Insulation

Jst. Joist

Jnt. Joint

Lam. Laminate
Lav. Lavatory
Lt. Light
Lins. Linens

Manf. Manufacturer
Mas. Masonry
Max. Maximum
M.C. Medicine Cabinet
Matl. Material
Mech. Mechanical
Mtl. Metal
Mfr. Manufacturer
Micro. Microwave
M.W. Microwave
Min. Minimum
Mir. Mirror
Misc. Miscellaneous
M.O. Masonry opening
Mtd. Mounted

N.I.C. Not Included
Nom. Nominal

O.C. On Center
O.D. Outside Diameter
Off. Office
Opng. Opening
Opp. Opposite
O.T.O. Out to Out

Pc. Piece
PDR. Powder
PL. Plate
P.Lam. Plastic Laminate
Plmg. Plumbing
Pnlg. Paneling
Pnt. Paint
P.T. Pressure Treated
P.V.C. Polyvinyl Chloride

Q.T. Quarry tile

Qtr. Quarter

R. Radius, Riser
R.D. Roof Drain
Re: Refer
Ref. Reference
Refr. Refrigerator
Reinf. Reinforce
Reqd. Required
Rm. Room
R.O. Rough opening
R.H. Ridge Height

S.C. Sol id Core
Sched. Schedule
Sect. Section
Sht. Sheet
Shtg. Sheathing
Sim. Similar
Spec. Specifications
S.S. Stainless steel
Std. Standard
Stl. Steel
Struct. Structural
Susp. Suspended

Tele. Telephone

Temp. Tempered
Thld. Threshold
Toil. Toilet
Typ. Typical
T.O.B. Top of Beam
T.O.W. Top of Wall
T.O.S. Top of Steel

U.N.O. Unless Noted Otherwise
Uti I. Utility

W.I.C. Walk In Closet
W/ With
Wd. Wood
Wind. Window
W Washer
W.H. Water Heater
W.R. Water Resistant
W.W.M. Welded wire Mesh

1R/1S 1 Rod 1shelf
2R/2S 2 Rod 2shelves
1R/2S 1 Rod 2shelves

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. KOKANEE SOLUTIONS, LLC is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

Effective September 1, 2016, the state of Texas will adopt 2015 IRC, Chapter 11 of the Energy Efficiency Code. Contractor and Homeowner to confirm compliance in the prescribed requirements. Please review at:

Link to Chapter 11:

<http://codes.iccsafe.org/app/book/content/2015-I-Codes/2015%20IRC%20HTML/Chapter%2011.html>

Link to the Legislation, Texas House Bill 1736:

<http://www.capitol.state.tx.us/BillLookup/Text.aspx?LegSess=84R&Bill=HB1736>

MEMBER



AMERICAN INSTITUTE of BUILDING DESIGN



LAYOUT PAGE TABLE	
LABEL	TITLE
A0	PROJECT OVERVIEW
A1	PLOT PLAN
A2	FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4	INTERIOR ELEVATIONS
A5	FOUNDATION PLAN
A6	ROOF PLAN
A7.2	ROOF FRAMING
E1	ELECTRICAL



REVISION TABLE	
NUMBER	DATE
REVISION	DESCRIPTION

NEW PROJECT FOR:

COMAL COUNTY HABITAT FOR HUMANITY
LOT 1 & 6 MICHIGAN STREET
NEW BRAUNFELS, TX 78130

PROJECT #: 20-022_D.LDR
FP1



DRAWINGS PROVIDED BY:

KOKANEE SOLUTIONS, LLC
421 S. SEGUN AVE SUITE A
NEW BRAUNFELS, TX 78130
830.481.4025 www.kcsotexas.com

DATE:

9/21/2020

SCALE:

1/4" = 1' UNO

SHEET:

A0
Project Overview



NOTES:
-ACTUAL FLATWORK WILL VARY DEPENDANT TO SITE CONDITIONS
-VERIFY GRADES & LANDSCAPE



KOKANEE SOLUTIONS
Custom Home Design

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Comal County
Habitat
for Humanity®

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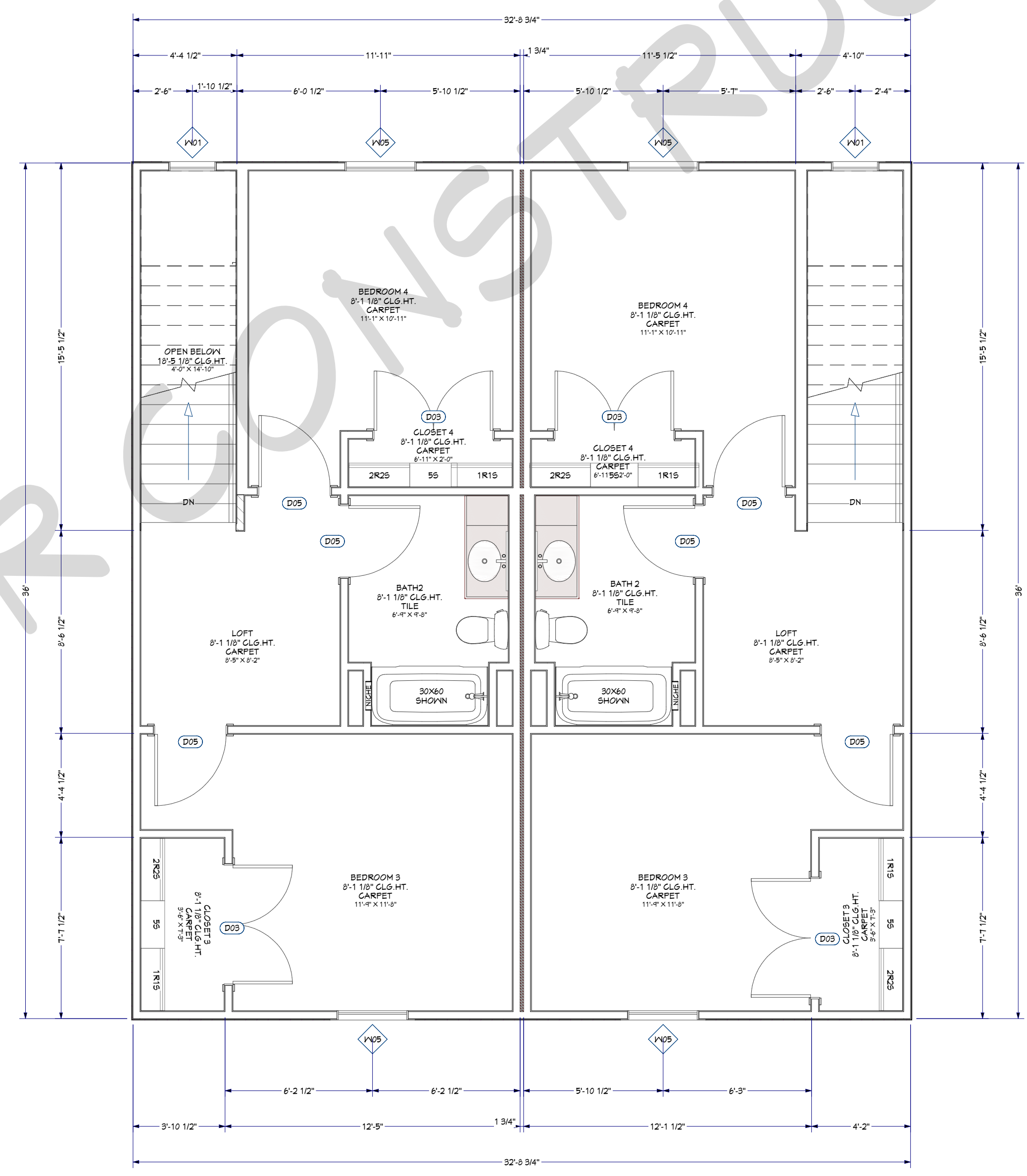
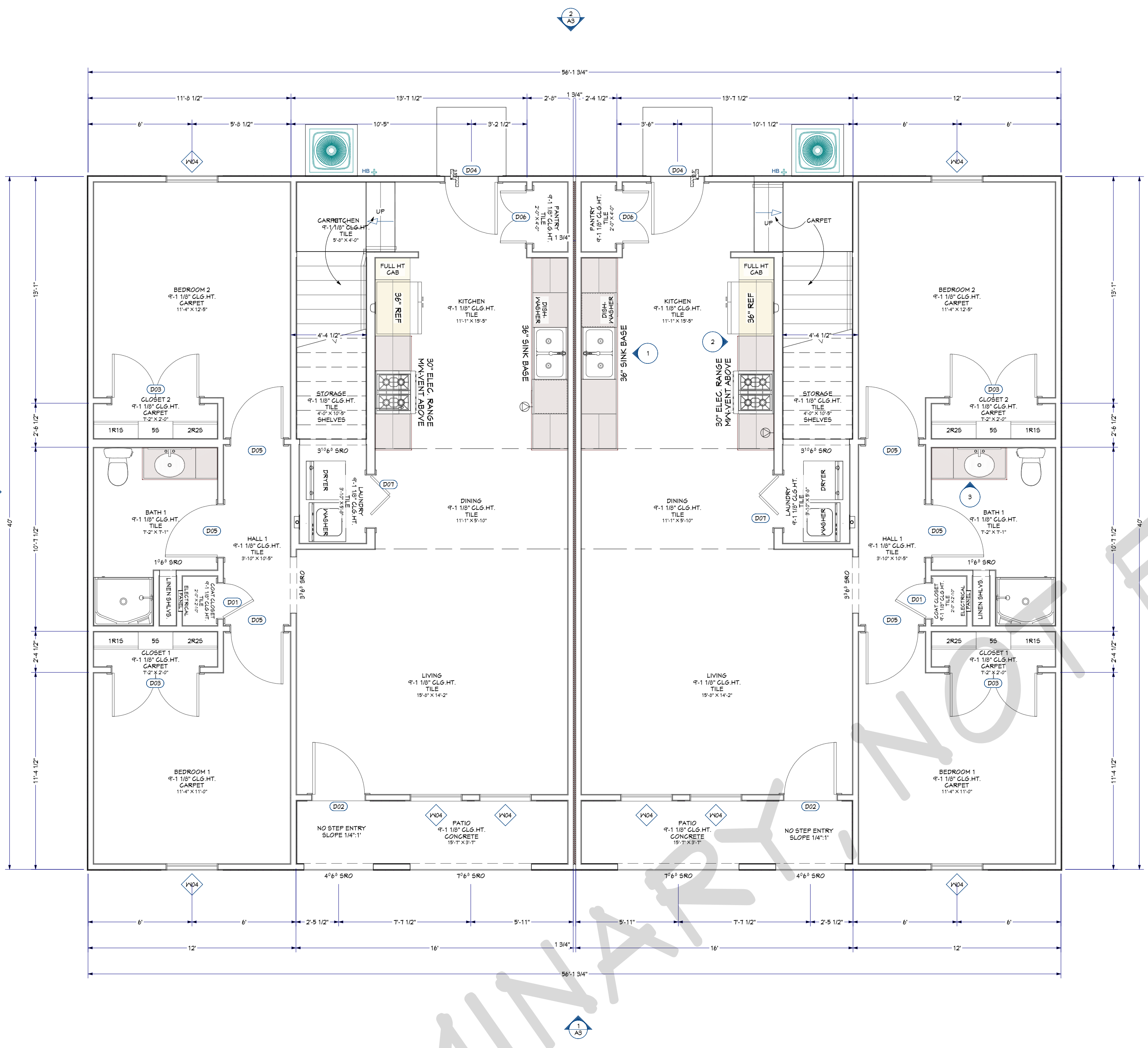
9/21/2020

SCALE:

1/4" = 1' UNO

SHEET:

A1
Plot Plan





KOKANEE SOLUTIONS
Custom Home Design

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421 S. SEGUN AVE SUITE A
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DATE:

9/21/2020

SCALE:

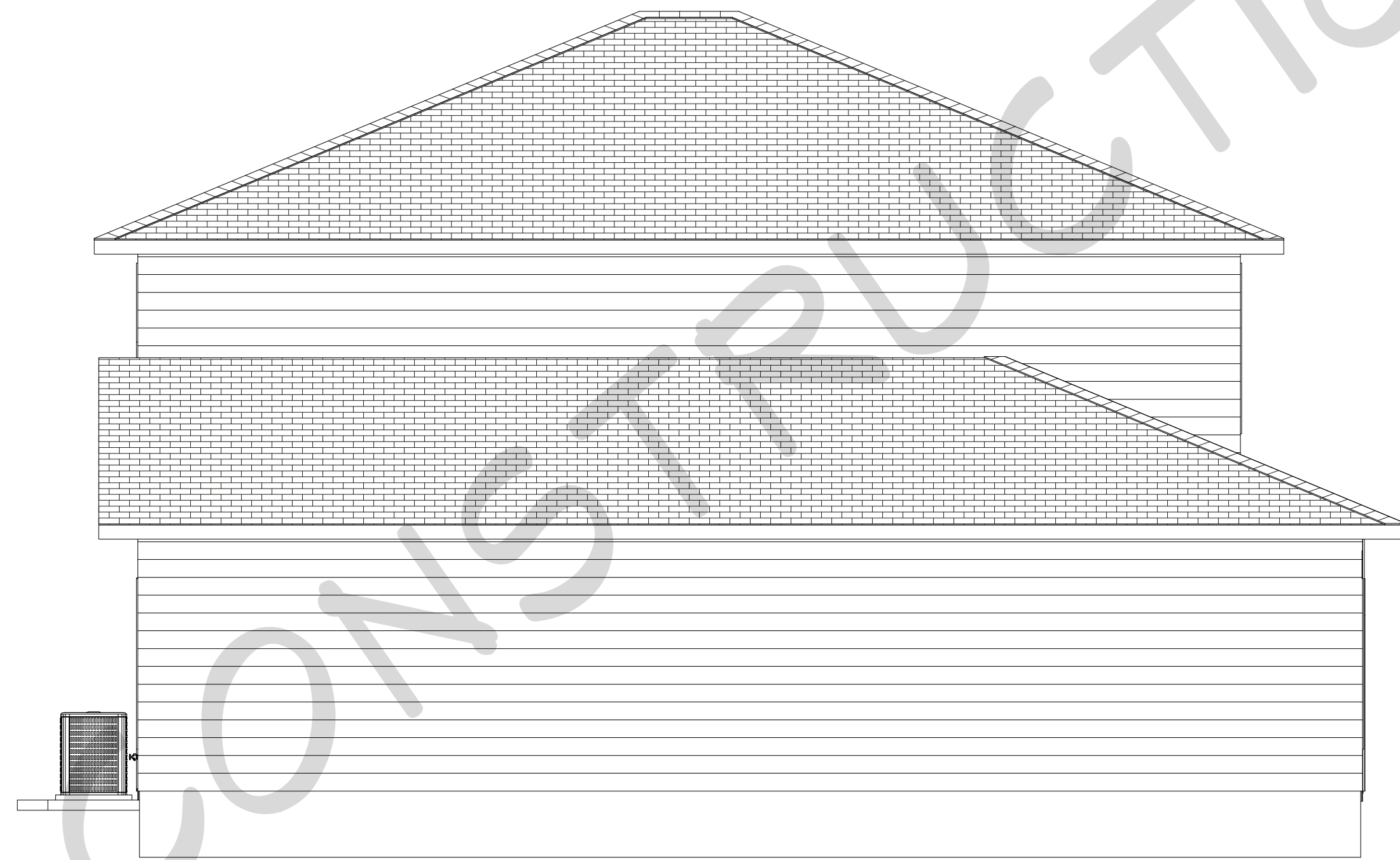
1/4" = 1' UNO

SHEET:

A2
Floor Plan



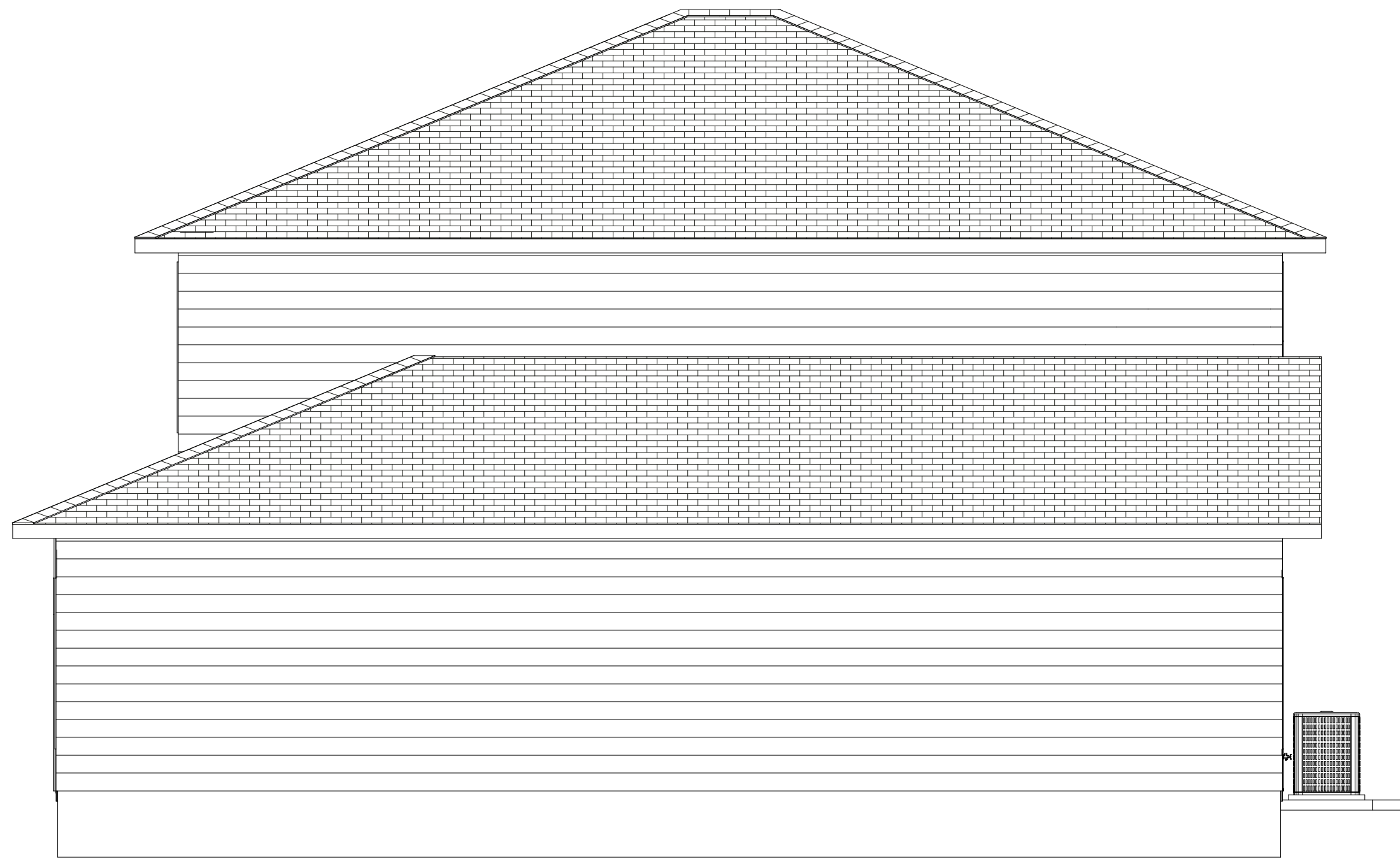
1
A3 FRONT ELEVATION
1/4" = 1'



3
A3 LEFT ELEVATION
1/4" = 1'



2
A3 REAR ELEVATION
1/4" = 1'



4
A3 RIGHT ELEVATION
1/4" = 1'



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NUMBER	DATE	REVISION

NEW PROJECT FOR:
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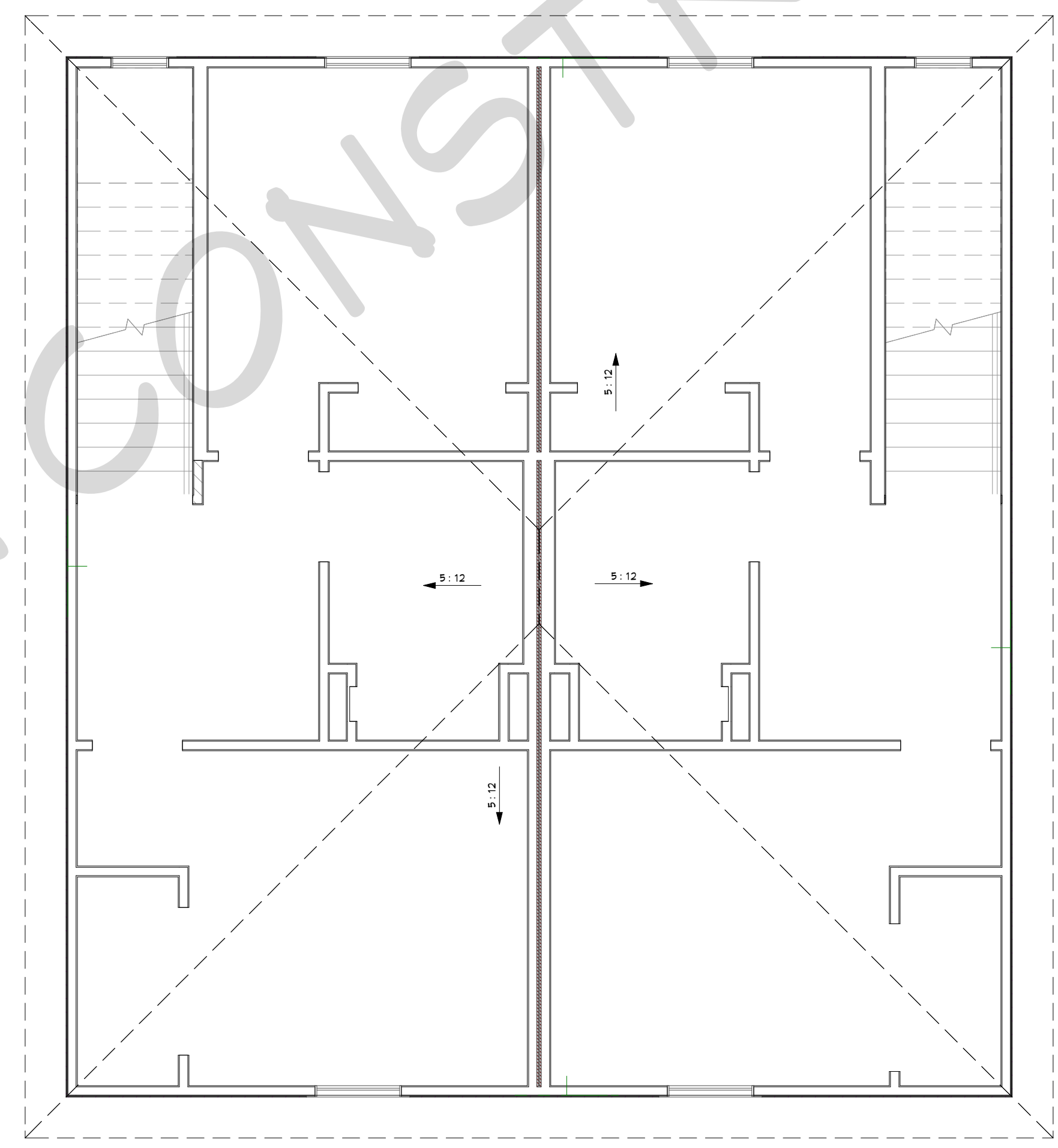
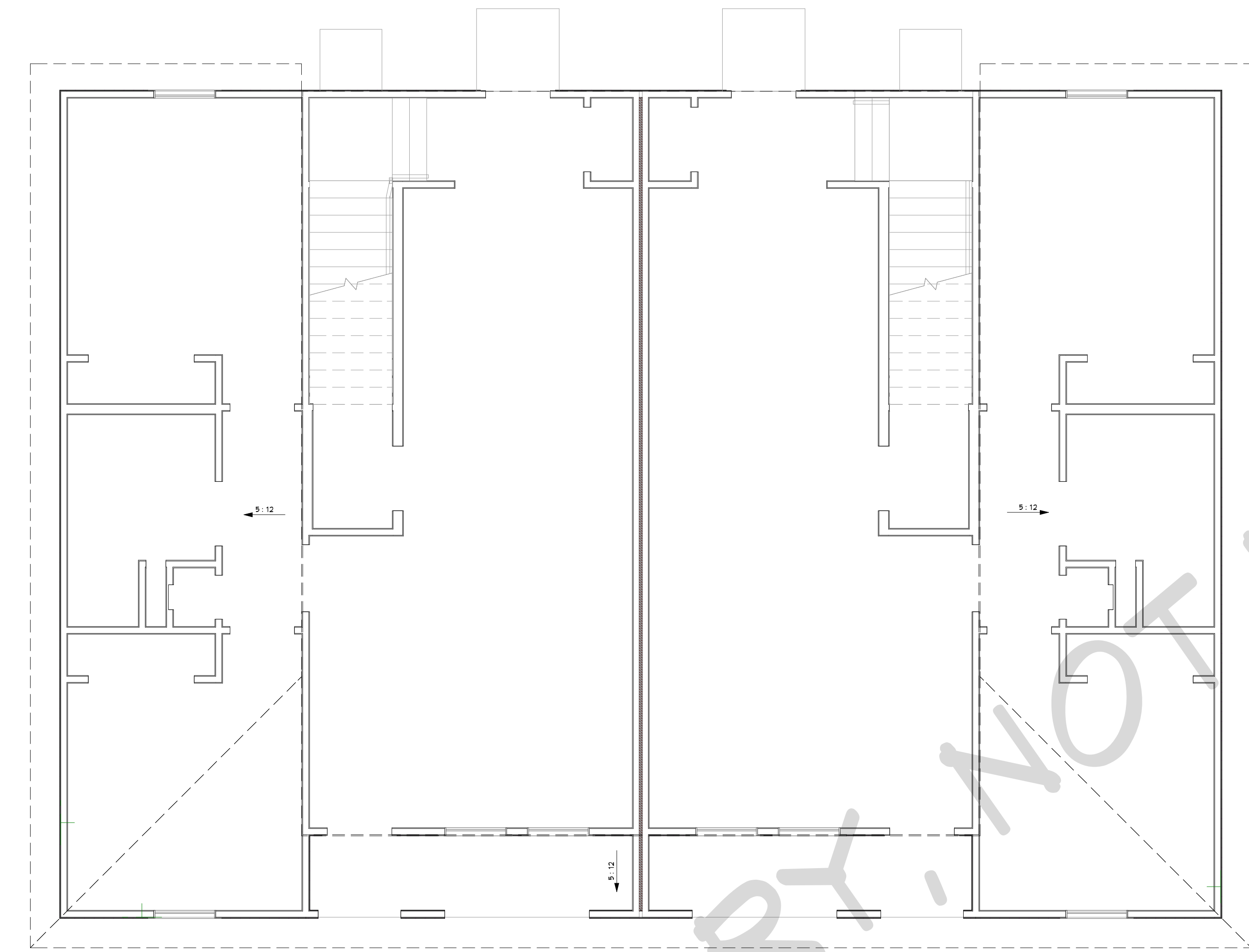
9/21/2020

SCALE:

1/4" = 1' UNO

SHEET:

A3
Exterior Elevations



MATERIAL	QUANTITY	UNIT
1/2" DRYWALL	TBD	SF
5/8" DRYWALL	TBD	SF
CARPET	TBD	SF
T&G	TBD	SF
WOOD FLOOR	TBD	SF
SIDING-LAP	TBD	SF
SIDING-S&B	TBD	SF
ROOFING	TBD	SF
SOFFIT	TBD	SF



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SCALE:

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SHEET:

A6
Roof Plan